

# CITY OF LOCUST GROVE

## REGULAR MEETING AGENDA

TUESDAY SEPTEMBER 5, 2023 – 6:00 P.M.  
PUBLIC SAFETY BUILDING – 3640 HIGHWAY 42 S.  
LOCUST GROVE, GA 30248

CALL TO ORDER..... Mayor Robert Price

INVOCATION..... City Manager Tim Young

PLEDGE OF ALLEGIANCE..... Councilman Breedlove

APPROVAL OF THE AGENDA..... Mayor Robert Price (Motion Required)

PUBLIC COMMENTS..... Register with Clerk Before Meeting

PUBLIC HEARING ITEMS..... None

APPROVAL OF THE MINUTES..... 3 Items

1. August 7, 2023, Regular Meeting Minutes (Motion Required)
2. August 7, 2023, Executive Session Meeting Minutes (Motion Required)
3. August 21, 2023, Workshop Meeting Minutes (Motion Required)

ACCEPTANCE OF THE FINANCIAL STATEMENT..... 1 Item

4. July 2023 – Financial Statement (Motion Required)

UNFINISHED BUSINESS/ACTION ITEMS..... 5 Items

5. Ordinance to approve a Conditional Use to allow gravel-surfaced truck/tractor-trailer parking on Highway 42 north of County Line Road (Parcel IDs: 162-01004003 and 162-01004001) (Motion Required)
6. Request to declare city vehicles as Surplus property (Motion Required)
7. Resolution approving the architectural plans submitted for Springs Apartments, located on Price Drive (Motion Required)
8. Resolution approving the architectural plans submitted for a dual-branded Townplace/Springhill Suites Hotel on Bandy Parkway (Motion Required)
9. Ordinance to amend the FY 2023 Operating and Capital Improvements Budget for the half-year of 2023 (Motion Required)

NEW BUSINESS/ACTION/DISCUSSION ITEM..... None

CITY MANAGER'S COMMENTS..... Tim Young

COUNCIL COMMENTS..... Council

MAYOR'S COMMENTS..... Mayor Robert Price

EXECUTIVE SESSION – (IF NEEDED)

ADJOURN

POSTED AT CITY HALL –August 30, 2023, at 4:30

ADA Compliance: Individuals with disabilities who require certain accommodations to allow them to observe and/or participate in this meeting, or who have questions regarding the accessibility of the meeting, or the facilities are required to contact the City Clerk at (770) 957-5043 promptly to allow the City to make reasonable accommodations for those persons. Public Comment may be limited to no more than ten (10) minutes with up to 3 minutes per requesting applicant to speak. Please register your NAME and ADDRESS prior to the beginning of the meeting with the City Clerk.



## Community Development Department

P. O. Box 900  
Locust Grove, Georgia 30248

Phone: (770) 957-5043  
Facsimile (770) 954-1223

## Item Coversheet

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**Item:** Conditional Use Request to allow gravel-surfaced truck/tractor-trailer parking on Highway 42 north of County Line (Parcel IDs 162-01004003 & 162-01004001).

**Action Item:**  Yes  No

**Public Hearing Item:**  Yes  No

**Executive Session Item:**  Yes  No

**Advertised Date:** July 26, 2023

**Budget Item:** N/A

**Date Received:** July 3, 2023

**Workshop Date:** August 21, 2023

**Regular Meeting Date:** September 5, 2023

### Discussion:

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Five Rivers North, LLC of Stockbridge, GA (the "Applicant"), requests a Conditional Use for 15.19+/- acres located on Highway 42 north of County Line Road (Parcel IDs # 162-01004003 & 162-01004001) for the purpose of developing a gravel truck parking lot.

### Recommendation:

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Staff recommends approval of the request with the following conditions:

- 1) All entry/exit points to the truck parking area shall be secured with fencing, gates, and/or security.
- 2) In addition to required buffering, the applicant shall install opaque privacy fencing eight (8) feet in height around the perimeter of the parking lot.
- 3) The applicant shall coordinate with the LGPD for the installation of flock cameras.

- 4) The gravel surface shall be kept in a neat and orderly fashion at all times and is subject to an annual inspection from the City Code Enforcement Officer.**
- 5) No tractor-trailer or any other vehicle shall be occupied overnight.**
- 6) No driveway shall be located on County Line Road. All entrance and exit points shall be located on Highway 42.**
- 7) Security cameras shall be installed with occasional checks by the City of Locust Grove Code Enforcement to ensure compliance with no overnight sleeping is maintained. Camera recordings shall be maintained on record for no less than 30 days.**

ORDINANCE NO. \_\_\_\_\_

**AN ORDINANCE TO APPROVE A CONDITIONAL USE FOR APPROXIMATELY 15.19+/- ACRES LOCATED ON HIGHWAY 42 (PARCEL ID #162-01004003 & 162-01004001) IN LAND LOT 130 OF THE 2<sup>ND</sup> DISTRICT WITHIN THE CITY OF LOCUST GROVE, GEORGIA; TO PROVIDE AN EFFECTIVE DATE; AND FOR OTHER PURPOSES**

**WHEREAS**, the City of Locust Grove (“City”) is a municipal corporation, duly organized and existing under the laws of the State of Georgia; and,

**WHEREAS**, Five Rivers North, LLC of Stockbridge, GA requests a Conditional Use for 15.19+/- acres located on Highway 42 north of County Line Road (Parcel ID # 162-01004003 & 162-01004001) in land lot 130 of the 2nd District (the “Property), attached hereto as **Exhibit A**; and,

**WHEREAS**, the Applicant filed a request for a Conditional Use on July 3, 2023 as shown in the application attached hereto and incorporated herein by reference as **Exhibit B**; and,

**WHEREAS**, the Applicant’s request has been reviewed by the Mayor and City Council at a Public Hearing held on August 21, 2023, as well as by the City Community Development Director; and,

**WHEREAS**, the Applicant requested a Conditional Use for the purpose of developing a gravel truck parking lot; and,

**WHEREAS**, notice of this matter (as attached hereto and incorporated herein as **Exhibit C**) has been provided in accordance with applicable state law and local ordinances; and,

**WHEREAS**, the Mayor and City Council have reviewed and considered the Applicant’s request and both the recommendations of the public hearing and City staff as presented in the Staff Report.



**THEREFORE, THE COUNCIL OF THE CITY OF LOCUST GROVE HEREBY ORDAINS:**

1.

- That the request for Conditional Use is hereby **APPROVED**.
- That the request for rezoning is hereby **DENIED**.

2.

That the use of the Property is subject to:

- The condition(s) set forth on **Exhibit D** attached hereto and incorporated herein by reference.
- The terms of the Development Agreement attached hereto as **Exhibit D** and incorporated herein by reference.
- If no **Exhibit D** is attached hereto, then the property is zoned without conditions.

4.

That, if granted, this Ordinance shall become effective immediately subject to the corresponding annexation ordinance under consideration.

**SO ORDAINED** by the Council of this City this 5<sup>th</sup> day of September 2023.

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ROBERT S. PRICE, Mayor

ATTEST:

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MISTY SPURLING, City Clerk

(Seal)

APPROVED AS TO FORM:

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City Attorney

## **EXHIBIT A**

## Request for Zoning Map Amendment

Name of Applicant FIVE RIVERS NORTH, LLC Phone: 404-210-6017 Date: 07/03/2023  
 Address Applicant: 521 CARLSBAD COVE Cell # 404-210-6017  
 City: STOCKBRIDGE State: GA Zip: 30281 E-mail: Singhcharanjit6998@gmail.com  
 Name of Agent N/A Phone: N/A Date: N/A  
 Address Agent: N/A Cell # N/A  
 City: N/A State: N/A Zip: N/A E-mail: N/A

THE APPLICANT NAMED ABOVE AFFIRMS THAT THEY ARE THE OWNER OR AGENT OF THE OWNER OF THE PROPERTY DESCRIBED BELOW AND REQUESTS: (PLEASE CHECK THE TYPE OF REQUEST OR APPEAL AND FILL IN ALL APPLICABLE INFORMATION LEGIBLY AND COMPLETELY).

Concept Plan Review  Conditional Use  Conditional Exception  Modifications to Zoning Conditions

Variance  Rezoning  DRI Review/Concurrent  Amendment to the Future Land Use Plan

Request from \_\_\_\_\_ to \_\_\_\_\_  
(Current Zoning) (Requested Zoning)

Request from VACANT to TRUCK PARKING  
(Current Land Use Designation) (Requested Land Use Designation)

For the Purpose of TRUCK PARKING  
(Type of Development)

Address of Property: HWY 42/23, CANUP DRIVE + COUNTY LINE RD.

Nearest intersection to the property: HWY 42/23 @ CANUP DRIVE

Size of Tract: 21.61 +/- acre(s), Land Lot Number(s): 130, District(s): 2<sup>ND</sup> (2nd)

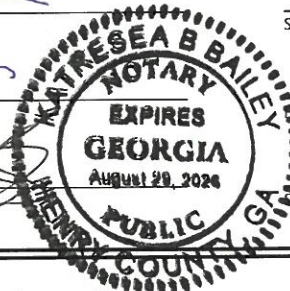
Gross Density: \_\_\_\_\_ units per acre Net Density: \_\_\_\_\_ units per acre

Property Tax Parcel Number: 163-01001001, 147-01003009, 162-01004003, 162-01004001 (Required)

Witness Signature Vicki Wilkerson Signature of Owner/s Charanjit Singh

Printed Name of Witness Vicki Wilkerson Printed Name of Owner/s CHARANJIT SINGH

Notary Signature \_\_\_\_\_ Signature of Agent N/A



**(For Office Use Only)**

Total Amount Paid \$ \_\_\_\_\_ Cash \_\_\_\_\_ Check # \_\_\_\_\_ Received by: \_\_\_\_\_ (FEES ARE NON-REFUNDABLE)

Application checked by: \_\_\_\_\_ Date: \_\_\_\_\_ Map Number(s): \_\_\_\_\_

Pre-application meeting: \_\_\_\_\_ Date: \_\_\_\_\_

Public Hearing Date: \_\_\_\_\_

Council Decision: \_\_\_\_\_ Ordinance: \_\_\_\_\_

Date Mapped in GIS: \_\_\_\_\_ Date: \_\_\_\_\_

**RECEIVED**  
 JUL 03 2023  
 City of Locust Grove  
 Community Development  
*Rec'd [Signature]*

# **Application for Rezoning, Conditional Use, Conditional Exception, Variance, Modifications to Zoning Conditions and Future Land Use Plan Amendments**

Thank you for your interest in the City of Locust Grove, Georgia. This packet includes the necessary documents for rezoning, conditional use, conditional exception, variance and modifications to zoning conditions to be heard by the Locust Grove City Council.

***Please note: All fees are non-refundable. There are no exceptions. In addition, be sure to review current ordinances, as new amended sections of code are to be adopted over the year.***

Should you need further assistance, please feel free to contact our office between 8:00 AM to 5:00 PM, Monday through Friday at:  
(770) 692-2321 or (770) 957-5043

The location of all City Council meetings is:  
Locust Grove Public Safety Building  
3640 Highway 42  
Locust Grove, GA 30248

**[WWW.LOCUSTGROVE-GA.GOV](http://WWW.LOCUSTGROVE-GA.GOV)**

## Zoning Application Checklist

PLEASE COMPLETE THIS FORM WHEN ACCEPTING ALL REZONING, CONDITIONAL USE, VARIANCE, MODIFICATIONS TO ZONING APPLICATIONS, AND FUTURE LAND USE PLAN AMENDMENTS. ATTACH THE CHECKLIST TO THE APPLICATION AND SIGN.

### ALL DOCUMENTS ARE REQUIRED IN ORDER TO ACCEPT APPLICATION

REQUIRED ITEMS	COPIES	PROCEDURE	CHECK
Application Form	01	<ol style="list-style-type: none"> <li>1. Signed and <b>notarized</b> by owner. Original signature</li> <li>2. In lieu of owner's signature, applicant has signed and <b>notarized</b></li> <li>3. A copy of "Contract", "Power of Attorney" or "Lease"</li> </ol>	✓
Applicant Disclosure Form	01	Required for all applicants filed whether yes or no and must be <b>notarized</b>	✓
Letter of Ownership	01	Letter stating that the owner is aware of the zoning request and owns the property in question	✓
Letter of Intent	01	Must clearly state the proposed use and development intent	✓
Legal Description	01	Legal Description of property to be considered for zoning action. Must be submitted as part of ordinance of rezoning, conditional use, variance, etc.	✓
Conceptual Site Plan(s) (24" x 36" max.)	01	Must show minimum details: Buildings, setbacks, buffers, road frontage, correct scale, north arrow, present zoning classification, topographic information to show elevation and drainage, location and extent of required buffers, proposed lot layout. For PD zoning, applicant must submit all additional paperwork as established in Chapter 17.04 of the Code of Ordinances.	✓
Survey Plat (8 ½" x 11" minimum, 17" by 22" maximum)	01	Subject Property, prepared and sealed within the last ten years by a professional engineer, landscape architect or land surveyor registered in the State of Georgia. Said survey plat shall: 1) indicate the complete boundaries of the subject property and all buildings and structures existing therein; 2) Include a notation as to whether or not any portion of the subject property is within the boundaries of the 100-year floodplain; and 3) Include a notation as to the total acreage or square footage of the subject property <b>Electronic copies via PDF and/or AutoCad are required, if available.</b>	✓
Letter from the Henry County Water Authority (HCWA)	01	This letter of availability must accompany application at the time of submittal. For city water and/or sewer service, the availability and suitability will be determined in the rezoning evaluation by staff. <b>Follow procedure from HCWA. For City Water/Sewer, Fill out form attached.</b>	✓
Letter from the Henry Co. Environmental Health Department (if property is not on sewer)	01	This letter of availability must accompany application at the time of submittal. <b>This is required if on septic system.</b>	N/A



# Community Development Department

## Application Procedures and Requirements

The following application procedures and requirements apply to all amendments to the Official Zoning map. Any deviation from these standards as prescribed by Section 17.04.312 of the Code of the City of Locust Grove, shall be discussed and considered by the Community Development Director.

- Rezoning
- Conditional Use
- Conditional Exception
- Modifications to Zoning Conditions
- Variance
- Amendments to the Future Land Use Plan

**APPLICATIONS WILL NOT BE ACCEPTED WITHOUT ALL THE REQUIRED INFORMATION AS STATED FOR THE FOLLOWING. ALL FEES ARE NON-REFUNDABLE.**

### ARTICLE XVI. AMENDMENTS

#### **Section 17.04.311            Amendments to Chapter and to Official Zoning Map.**

This Chapter, including the official zoning map, may be amended by the City Council that shall become effective after review and comment in a public hearing.

#### **Section 17.04.312            Application for amendment.**

- (a) A zoning map amendment may be proposed by any public agency or department of Locust Grove, Georgia or by the City Council. Unless initiated by one (1) of the above bodies, all applications for map amendments must be submitted by an individual with fifty-one (51) or more percent ownership in fee simple of the subject property being petitioned for rezoning, or his legal agent authorized in writing over the owner's signature.
- (b) Any petition for amendment of the Locust Grove Zoning Ordinance or official zoning map shall be accompanied by a filing fee maintained by the Locust Grove Community Development Department office.
- (c) Applications for zoning map amendments shall be filed with the Locust Grove Community Development Department, which will schedule the application for public hearing before the City Council.
- (d) Applications for a zoning map amendment must contain the following:
  - (1) A completed and signed copy of the application for zoning map amendment.
  - (2) A conceptual plat/site plan representing information on the location, extent and type of proposed development, which may include, depending upon the type of development, the following minimum types of information:

- a. Correct scale and north arrow.
  - b. The present zoning classification of all adjacent parcels.
  - c. The location of the parcel relative to existing or proposed public streets.
  - d. Required zoning yard setbacks for the zoning district requested.
  - e. Topographic information sufficient to show elevation and drainage conditions of the land.
  - f. Existing conditions or improvements on the property.
  - g. The location and extent of required buffer areas, including the extent of natural vegetation or fences as required.
  - h. Proposed lot layout of the property if it is to be a subdivision for residential, commercial or industrial development, with required building line setbacks and buffer areas shown.
  - i. Commercial or industrial development on existing individual lots, or proposed shopping center developments shall also indicate the location and dimensions of proposed buildings, parking and loading areas, driveways and storage areas.
  - j. Report from the Henry County Health Department and the Henry County Water and Sewerage Authority and/or (as applicable) the City Utility Department.
  - k. The Community Development Department may require additional information, or information different from the above depending upon the type of development, to properly evaluate the zoning map amendment.
- (3) A copy of the proposed restrictive covenants to be placed upon property that a rezoning application is being made therefore.

**Section 17.04.313            Review of application for amendment.**

- (a) All proposed amendments to this chapter or to the Official Zoning Map with required site plans shall be transmitted to the Community Development Department Director and City Council for analysis and public hearing. The Community Development Department Director shall study the need and justification of the following facts:
- (1) The possible effects of the change in the regulations or map on the character of a zoning district, a particular piece of property, neighborhood, a particular area, or the community.
  - (2) The relation that the proposed amendment bears to the purpose of the overall zoning scheme with due consideration given to whether or not the proposed change will help carry out the purposes of this chapter.
  - (3) Consistency with the Land Use Plan.
  - (4) The potential impact of the proposed amendment on county infrastructure including water and sewerage systems.
  - (5) The impact of the proposed amendment on adjacent thoroughfares and pedestrian and vehicular circulation and traffic volumes.
  - (6) The impact upon adjacent property owners should the request be approved.
  - (7) The ability of the subject land to be developed as it is presently zoned.
  - (8) The physical conditions of the site relative to its capability to be developed as requested, including topography, drainage, access, and size and shape of the property.
  - (9) The merits of the requested change in zoning relative to any other guidelines and policies for development which the City Council may use in furthering the objectives of the land use plan.
- (b) After completing the analysis and review, the City Council shall conduct a public hearing on the proposed zoning map amendment.

**Section 17.04.314            Notification and public hearing.**



- (a) If Locust Grove, Georgia is taking action resulting in a zoning decision, it shall provide for a hearing on the proposed action. At least fifteen (15) but not more than forty-five (45) days prior to the date of the hearing, the Community Development Department shall cause to be published within a newspaper of general circulation within the City limits and Henry County a notice of the hearing. The notice shall state the time, place and purpose of the hearing.
- (b) If a zoning decision of Locust Grove, Georgia is for the rezoning of property and the rezoning is initiated by a party other than City officials or a City department then:
  - (1) The notice, in addition to the foregoing requirements, shall include the location of the property, the present zoning classification of the property, and the proposed zoning classification of the property; and
  - (2) A sign containing information required by this chapter shall be placed in a conspicuous location on the property not less than fifteen (15) days prior to the date of the hearing.
- (c) If the property proposed for rezoning does not have frontage on a public street, then the sign may be posted on the right-of-way of the nearest public street which provides access to the site. No public hearing may be held by the City Council until said sign(s) have been posted for at least fifteen (15) days. Said signs shall remain posted until final action has been taken by the City Council.
- (d) Before enacting an amendment to this Chapter, whether the proposed amendment is a text or map amendment, the City Council shall hold a public hearing thereon for the purpose of receiving and considering public comment on the merits of the proposed amendment. Said hearings shall be held only after full compliance with all required public notification of the hearing as set forth herein.
- (e) If the zoning decision of the City Council is to deny the rezoning request, then the same property may not again be considered for rezoning until the expiration of at least six (6) months immediately following the defeat of the rezoning by the City Council.

**Section 17.04.315 Procedure for Hearing Before City Council.**

- (a) All proposed amendments to this chapter or to the official zoning map with required site plans shall be considered at public hearing. The City Council shall consider the following:
  - (1) The possible effects of the change in the regulations or map on the character of a zoning district, a particular piece of property, neighborhood, a particular area, or the community.
  - (2) The relation that the proposed amendment bears to the purpose of the overall zoning scheme with due consideration given to whether or not the proposed change will help carry out the purposes of this Chapter.
  - (3) Consistency with the Land Use Plan.
  - (4) The potential impact of the proposed amendment on City infrastructure including water and sewerage systems.
  - (5) The impact of the proposed amendment on adjacent thoroughfares and pedestrian vehicular circulation and traffic volumes.
  - (6) The impact upon adjacent property owners should the request be approved.
  - (7) The ability of the subject land to be developed as it is presently zoned.
  - (8) The physical conditions of the site relative to its capability to be developed as requested, including topography, drainage, access, and size and shape of the property.
  - (9) The merits of the requested change in zoning relative to any other guidelines and policies for development which the Community Development Commission and City Council may use in furthering the objectives of the Land Use Plan.
- (b) The following rules of procedure shall govern the public hearing before the City Council:

- (1) Each applicant shall appear before the Council, identify himself/herself by name, address and whether or not applicant is owner or agent for owner.
- (2) Each applicant or other interested party who provides the Council with documents shall have each document numbered and shall identify each document and each such document submitted shall be made a part of the official record of the hearing.
- (3)
  - a. Each applicant shall have thirty (30) minutes to present facts pertinent to the application. An applicant may have additional time to address the Council if the applicant notifies the City Clerk prior to the start of the public hearing that applicant needs additional time. The additional time shall be limited to ten (10) minutes.
  - b. Each person in opposition to rezoning of property and amendment to the zoning ordinance shall have ten (10) minutes to address the Council and shall provide the City Clerk with name and address; however, the total time for all interested parties in opposition shall be thirty (30) minutes unless the applicant requests for additional time in subsection (a) above, and then the total time shall not exceed forty (40) minutes.
- (4) At the conclusion of the hearing, the City Council shall make a final decision and its next regular public meeting and direct the Community Development Department to notify the applicant in writing of the Council's decision. The decision shall be based on the information contained in Section 17.04.315 (a) and from the public hearing. The written notification shall immediately be entered on the minutes and made a part of the record on the date that written notification is given to the applicant.
- (5) Any aggrieved party shall have thirty (30) days from the date of written notification to file an appeal from the Council's decision with the superior court.

**Section 17.04.316 Conditional zoning.**

- (a) In deciding upon any application for zoning map amendment, the City Council may, on their own motion or upon the suggestion of the applicant, or on consideration of the recommendations of the Community Development Department, grant the application subject to certain conditions necessary to promote and protect the health, safety and general welfare.
- (b) The City Council may grant approval of a zoning map amendment and include conditional approval as follows:
  - (1) Such conditions as deemed necessary to protect neighboring properties and to lessen any potentially adverse effects of the zoning change;
  - (2) That the rezoning is conditional upon the condition that the applicant or any successor in title may construct only those uses and only in such a manner as depicted upon any site plan submitted and approved with the application; and,
  - (3) That the rezoning is conditional upon any written conditions proposed by the applicant and/or City Council, and as further set forth on an approved site plan.
- (c) Prior to a final vote being taken upon any application for a zoning map amendment for which such conditions shall be imposed, such conditions shall be announced at the public hearing and made a part of the motion to approve. If the applicant finds such conditions to be unacceptable, it may, at the time, withdraw the application for zoning map amendment. Such withdrawal shall not enable the applicant to re-file the same zoning map amendment for the same property until six (6) months have elapsed from the date of withdrawal.

- (d) Any zoning map amendment which is adopted with conditions shall be indicated on the official zoning map. The property shall be indicated on the official zoning map with the suffix "c" to indicate that the property has been rezoned with conditions. Such conditions shall remain imposed upon the property until removed or modified by the City Council.
- (e) Conditional requirements may be imposed upon either permitted and/or conditional use within any zoning district. In ruling upon such requirements, the City Council shall utilize the standards of review contained in section 17.04.313 of this Chapter.

**Section 17.04.317           Types of zoning conditions.**

In adopting an amendment to the zoning map, or approving a conditional use permitted in any zoning district, the City Council may impose conditions, such as, but not limited to, the following:

- (1)     Setback requirements from any lot line;
- (2)     Specified or prohibited locations for buildings, parking, loading or storage areas;
- (3)     Restrictions on land use activities to be permitted;
- (4)     Maximum building dimensions and height;
- (5)     Landscaping or planted area which may include the location, type and maintenance of plant materials within a designated buffer area;
- (6)     Fences, walls, earthen berms, or other landscape buffer provisions or protective measures;
- (7)     Preservation of existing trees and vegetation;
- (8)     Special conditions to eliminate or reduce undesirable views, light, glare, dust or odor;
- (9)     Hours of operation;
- (10)    Architectural details to be compatible with existing buildings in the area;
- (11)    Adherence to specific site plans as adopted; and
- (12)    Any other requirements that the City Council may deem appropriate and necessary for the protection of public health and welfare.

**Section 17.04.318           Reversion.**

After an approval has been granted for a map amendment to create or extend any zoning district, the applicant, agent or property owner has twelve (12) months in which to make substantial progress in developing the property. Substantial progress shall mean the point of construction at which time the first inspection is carried out. If no substantial construction or alteration of the property or other affirmative action to develop the property has occurred within twelve (12) months of the granting of an application for rezoning, the City Council shall review the situation and report its findings with who can, at a public hearing change, the zoning category to its prior or other appropriate zoning district classification.

## Contacts

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Henry County Water Authority  
1695 Highway 20 West  
McDonough, GA 30253  
(770) 957-6659

Henry County Fire Department  
110 South Zack Hinton Boulevard  
McDonough, GA 30253

Henry County Environmental Health Department  
137 Henry Parkway  
McDonough, GA 30253  
(770) 288-6190

City of Locust Grove  
PO Box 900  
3644 Highway 42 South  
(770) 288-6637 Locust Grove, GA 30248  
(770) 957-5043  
Community Development (770) 692-2321  
Public Works/Water-Sewer (770) 692-2333

***NOTE: Projects that exceed minimum thresholds for Development of Regional Impact (DRI) review as established by the Department of Community Affairs will be withheld from final Public Hearings until a Notice of Decision is received.***

## Applicant Campaign Disclosure Form

Has the applicant<sup>1</sup> made, within two (2) years immediately preceding the filing of this application for rezoning, campaign contributions aggregating \$250 or more or made gifts having in the aggregate a value of \$250 or more to a member of the Locust Grove City Council and/or Mayor who will consider the application?

Yes \_\_\_\_\_ No X

If **Yes**, the applicant and the attorney representing the applicant must file a disclosure report with the Locust Grove City Clerk within ten (10) days after this application is first filed. Please supply the following information that will be considered as the required disclosure:

Council/Planning Commission Member Name	Dollar amount of Campaign Contribution	Description of Gift \$250 or greater given to Council/Planning Commission Member

We certify that the foregoing information is true and correct, this 03 day of July, 2023

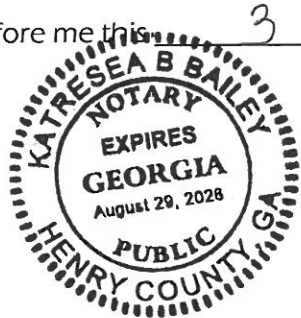
CHARANJIT SINGH  
Applicant's Name - Printed

*Charanjit Singh*  
Signature of Applicant

NIA  
Applicant's Attorney, if applicable - Printed

NIA  
Signature of Applicant's Attorney, if applicable

Sworn to and subscribed before me this 3 day of July, 2023.



*Katresea B Bailey*  
Notary Public

<sup>1</sup> Applicant means any individual or business entity (corporation, partnership, limited partnership, firm enterprise, franchise, association, or trust) applying for rezoning or other action.

07/03/2023

Five Rivers North, LLC  
521 Carlsbad Cove  
Stockbridge, GA 30281

City of Locust Grove  
Community Development  
3644 Highway 42  
Locust Grove, GA 30248

To Whom it may Concern:

Five Rivers North, LLC is the owner of the following parcels. We are aware of the zoning request for a conditional use regarding our parcels and have no reservations or objections to do so.

**Parcel No. 162-01004003**

**Parcel No. 147-01003009**

**Parcel No. 163-01001001**

**Parcel No. 162-01004001**

Sincerely,



Charanjit Singh  
Authorized Signer/Member

07/03/2023

Five Rivers North, LLC  
521 Carlsbad Cove  
Stockbridge, GA 30281

City of Locust Grove  
Community Development  
3644 Highway 42  
Locust Grove, GA 30248

To Whom it may Concern:

Five Rivers North, LLC is the owner of the following parcels. We propose to use this site for truck parking and intend to develop it as a gravel parking lot.

**Parcel No. 162-01004003**

**Parcel No. 147-01003009**

**Parcel No. 163-01001001**

**Parcel No. 162-01004001**

Sincerely,



Charanjit Singh  
Authorized Signer/Member



**EXHIBIT "A"**

**TRACT ONE: 435 COUNTY LINE ROAD, CONTAINING 2.514 ACRES**

THE CERTAIN IMPROVED REALTY LOCATED IN LAND LOT 127 OF THE 2ND LAND DISTRICT OF BUTTS COUNTY, GEORGIA CONTAINING 2.514 ACRES AS SHOWN ON PLAT OF SURVEY OF SAME PREPARED BY JOE ROWAN, DATED 3/16/1995 AND RECORDED IN PLAT BOOK 12, PAGE 805, BUTTS COUNTY, GEORGIA RECORDS. MAP/PARCEL #00080 040 A00.

ALSO CONVEYED HEREWITH IS A 1980 REDMAN BOANZA MANUFACTURED HOME, VIN #11510965, WHICH IS PERMANENTLY AFFIXED TO THE ABOVE DESCRIBED PROPERTY.

**TRACT TWO: HWY 42 & CANUP ROAD, CONTAINING 5 ACRES**

ALL THAT TRACT OR PARCEL OF LAND LYING AND BEING IN LAND LOT 130 OF HENRY COUNTY, GEORGIA, CONTAINING 5 ACRES AND BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:

BEGINNING AT A POINT WHERE THE EASTERN MARGIN OF DEAN PATRICK ROAD CONVERGES WITH THE SOUTHERN MARGIN OF U.S. 23 AND GEORGIA HIGHWAY 42 AND TRAVELING THENCE SOUTH 67 DEGREES 31 MINUTES EAST A DISTANCE OF 200 FEET TO A POINT; THENCE SOUTH 4 DEGREES 35 MINUTES WEST A DISTANCE OF 839.1 FEET TO A POINT; THENCE NORTH 88 DEGREES 18 MINUTES WEST 246.2 FEET TO A POINT; THENCE NORTH 2 DEGREES 38 MINUTES EAST 605.0 FEET TO AN IRON PIN; THENCE NORTH 18 DEGREES 17 MINUTES EAST 318.1 FEET ALONG THE EASTERN MARGIN OF DEAN PATRICK ROAD TO THE POINT OF BEGINNING.

SAID TRACT OF PROPERTY IS SHOWN AS "TRACT 2" ON A PLAT OF SURVEY PREPARED BY T. A. CARMICHAEL, JR., DATED JANUARY 16, 1978, AND RECORDED IN PLAT BOOK 7, PAGE 70, HENRY COUNTY, GEORGIA RECORDS. MAP/PARCEL #163-01001001.

**TRACT THREE: 1.4 ACRES**

ALL THAT TRACT OR PARCEL OF LAND LYING, SITUATE AND BEING IN LAND LOT 130 OF THE 2ND LAND DISTRICT OF HENRY COUNTY, GEORGIA, CONTAINING 1.4 ACRES, MORE OR LESS, BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:

BEGINNING AT A POINT WHERE THE EASTERN MARGIN OF DEAN PATRICK ROAD, A/K/A CANUP ROAD, CONVERGES WITH THE SOUTHERN MARGIN OF U.S. 23 AND GEORGIA HIGHWAY 42, THENCE SOUTH 18 DEGREES 17 MINUTES WEST 318.1 FEET ALONG THE EASTERN MARGIN OF THE DEAN PATRICK (CANUP) ROAD TO THE TRUE POINT OF BEGINNING; THENCE SOUTH 2 DEGREES 38 MINUTES WEST 605.0 FEET TO AN IRON PIN WHICH IS LOCATED ON THE SOUTHERN LAND LOT LINE OF LAND LOT 130; THENCE IN A WESTERLY DIRECTION ALONG THE SOUTHERN LAND LOT LINE OF LAND LOT 130 192.6 FEET, MORE OR LESS, TO THE EASTERN RIGHT OF WAY OF DEAN PATRICK (CANUP) ROAD; THENCE NORTHEASTERLY ALONG THE EASTERN RIGHT OF WAY OF SAID ROAD TO THE POINT OF BEGINNING. SAID PROPERTY IS FURTHER DESCRIBED IN ACCORDANCE WITH A PLAT OF SURVEY DATED JANUARY 16, 1978, PREPARED BY T. A. CARMICHAEL, JR., AND RECORDED IN PLAT BOOK 7, PAGE 70, OFFICE OF CLERK, HENRY SUPERIOR COURT. SAID TRACT IS DESCRIBED ON SAID PLAT AS THE WILSON PROPERTY AND IS LOCATED ADJACENT TO AND WEST OF TRACT 2 DESCRIBED ON SAID SURVEY. SAID



**EXHIBIT "A" – CONTINUED**

PROPERTY IS TRIANGULAR IN SHAPE AND IS A PORTION OF THAT PROPERTY DEEDED TO GEORGE L. WILSON FROM C. S. ROGERS AND V. B. PRATER BY WARRANTY DEED DATED AUGUST 24, 1953, RECORDED IN DEED BOOK 48, PAGE 145, OFFICE OF CLERK, HENRY SUPERIOR COURT, GEORGIA RECORDS. MAP/PARCEL #147-01003009.

**TRACT FOUR: COUNTY LINE ROAD, CONTAINING 3.00 ACRES**

ALL THAT TRACT OR PARCEL OF LAND LYING AND BEING IN LAND LOT 130 OF THE 2ND LAND DISTRICT OF HENRY COUNTY, GEORGIA, AND BEING 3.00 ACRES AS SHOWN ON A PLAT OF SURVEY PREPARED FOR GLEN GLADIS AND PREPARED BY WALTER F. PRINCE, GA. R.L.S. #2808, DATED JULY 12, 2005, AND RECORDED AT PLAT BOOK 43, PAGE 300A, HENRY COUNTY, GEORGIA RECORDS. MAP/PARCEL #162-01004-003.

**TRACT FIVE: HWY 42 SOUTH, CONTAINING 12.205 ACRES**

ALL THAT TRACT OR PARCEL OF LAND LYING AND BEING IN LAND LOT 130, OF THE 2ND LAND DISTRICT, OF HENRY COUNTY, GEORGIA, AND BEING 12.205 ACRES, AS SHOWN ON A PLAT OF SURVEY PREPARED FOR PHILLIP CORBIN, PREPARED BY WALTER F. PRINCE, G.R.L.S. #2808, DATED APRIL 24, 2006, WHICH SAID PLAT OF SURVEY IS INCORPORATED HEREIN AND BY REFERENCE THERETO BEING MORE PARTICULARLY DESCRIBED IN EXHIBIT "A" ATTACHED HERETO. MAP/PARCEL #162-01004001.

EXHIBIT "A" - CONTINUED

All that tract or parcel of land lying and being in Land Lot 130, of the 2nd District, of Henry County, Georgia, and being 12.205 Acres, as shown on a plat of survey prepared for Philip Corbin, prepared by Walter F. Prince, G.R.L.S. #2808, dated April 24, 2006, which said plat of survey is incorporated herein and by reference thereto being more particularly described as follows:

Beginning at an iron pin placed on the Southern right-of-way line of U.S. Highway 23/Ga. Highway 42 (an 80-foot right-of-way), said iron pin being 263.38 feet Westerly, as measured along said right-of-way line, from its intersection with the Western right-of-way line of County Line Road (a 60-foot right-of-way); thence, and leaving the Southern right-of-way line of U.S. Highway 23/Ga. Highway 42, South 10 degrees 09 minutes 28 seconds West, 52.23 feet to an iron pin placed; thence proceeding South 10 degrees 14 minutes 40 seconds East, 88.53 feet to an iron pin placed; thence proceeding South 05 degrees 47 minutes 12 seconds West, 171.83 feet to an iron pin found; thence proceeding North 88 degrees 19 minutes 47 seconds West, 298.59 feet to an iron pin found; thence proceeding South 01 degree 31 minutes 34 seconds West, 235.91 feet to an iron pin found on the common land lot line of Land Lots 130 and 127 and dividing line between Henry and Butts Counties; thence proceeding, along said common land lot and county line, North 89 degrees 06 minutes 15 seconds West, 596.59 feet to an iron pin found; thence, and leaving said common land lot and county line, North 03 degrees 50 minute 41 seconds East, 845.50 feet to an iron pin found on the Southwestern right-of-way line of U.S. Highway 23/Ga. Highway 42; thence proceeding, along said right-of-way line, South 67 degrees 37 minutes 57 seconds East, 345.56 feet to a point; thence, and continuing along said right-of-way line, South 67 degrees 58 minutes 58 seconds East, 247.31 feet to a point; thence, and continuing along said right-of-way line, in a Southeasterly direction and following the curvature thereof to the left along the arc of a curve to the right of a chord having been subtended, an arc distance of 320.77 feet to an iron pin placed, (said arc having a radius of 1,404.33 feet and said chord having a bearing of South 73 degrees 16 minutes 32 seconds East, a chord distance of 320.07 feet), and said iron pin being the Point of Beginning.

Together With all of Grantor's right, title and interest in and to that certain perpetual 30-foot exclusive easement for the purpose of ingress and egress conveyed to Grantor by Limited Warranty Deed from Walter Concrete Company, Inc. filed for record in the Office of the Clerk of Superior Court, Henry County, Georgia, and more particularly described as a 30-foot Exclusive Egress/Ingress Easement on a plat of survey of record at Plat Book 43, Page 300-A, of the Henry County, Georgia Records. The description of said easement as set forth under said recorded plat of survey is incorporated herein by reference and made a part hereof, with all the rights, members and appurtenances to the said described premises in anywise appertaining or belonging. Parcel 162-1004001

# City Water and Sewer Service Capacity Form:

Please fill out the necessary items above for determination of available capacity for water and sewer service.

Applicant: FIVE RIVERS NORTH, LLC

Address/Location of Request: HWY 42/23, CANUP DRIVE + COUNTY LINE RD.

Type of Project:  Commercial  Residential  Mixed Use

For residential or mixed-use residential, number of lots or units: \_\_\_\_\_

For commercial, amount of square feet: 941,113.00 SF OF LAND

Estimated water usage: N/A (GALLONS)

Estimated sewer usage: N/A (GALLONS)

## STAFF ANALYSIS

Is this project within current water and sewer delivery area: \_\_\_\_\_

Does the project have access to adequate water supply: \_\_\_\_\_

Does city have adequate sewer treatment capacity for this project: \_\_\_\_\_

Are any improvements required as a result of this project: \_\_\_\_\_

If so, what types of improvements are necessary



Angle Burdeshaw <southerngroundregroup@gmail.com>

**RE: Water Usage Request (Highway 42/23 @ Canup Drive**

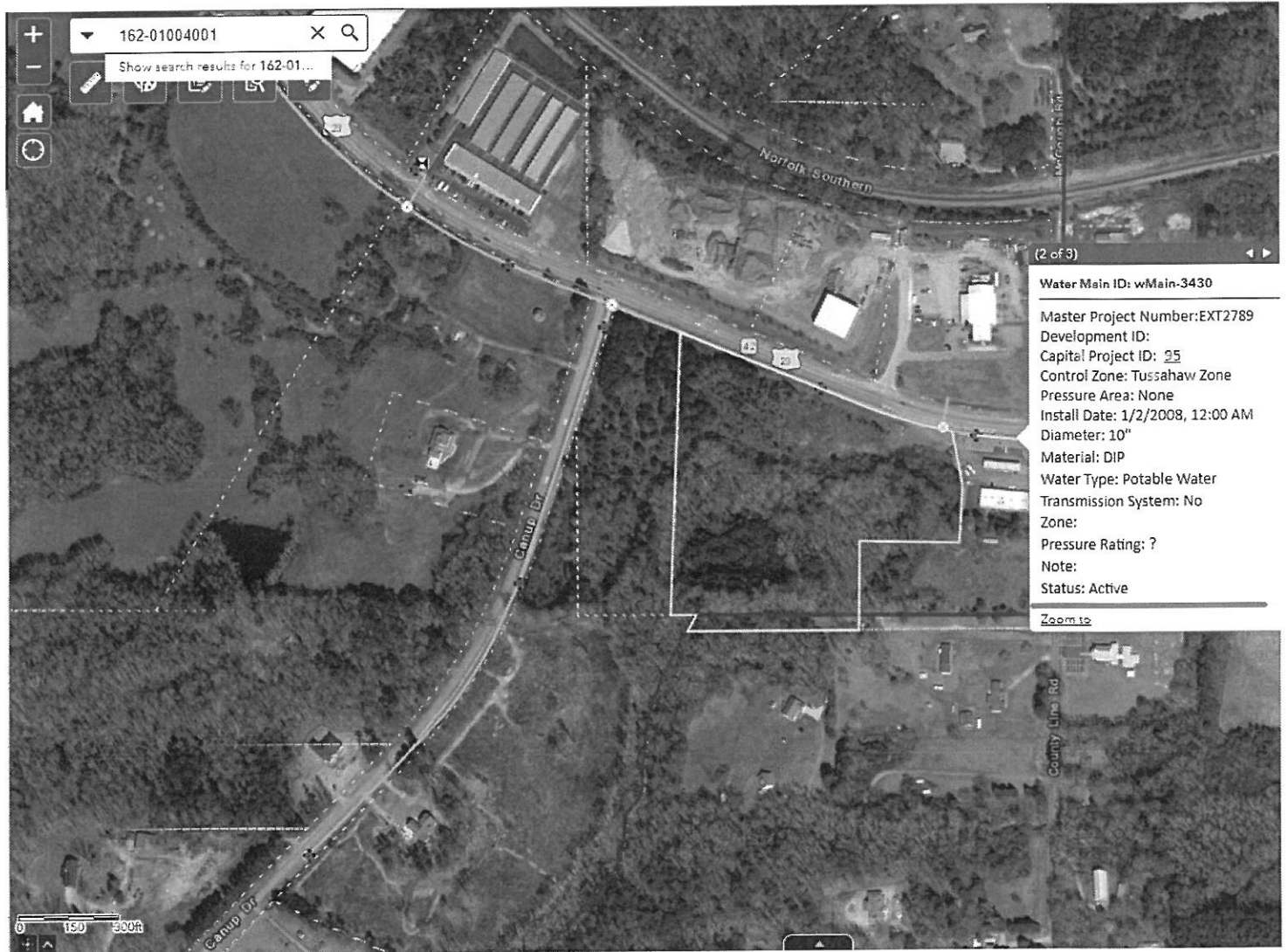
4 messages

fritz jacques <fritz.jacques@hcwa.com>  
To: Angle Burdeshaw <southerngroundregroup@gmail.com>  
Cc: melissa collum <melissa.collum@hcwa.com>, nikeva silverton <nikeva.silverton@hcwa.com>, cody miller <cody.miller@hcwa.com>, mitchell benson <mitchell.benson@hcwa.com>, Meter

Ms. Angie,

All the properties listed below have access to public water. If you require water service, please reach out to Meter Sales, whose contact information is provided in this email properties.

Link: Establish New Service - Henry County Water Authority (hcwa.com)



Regards,

Fritz Jacques | Engineering Supervisor  
Henry County Water Authority  
100 Westridge Industrial Blvd. | McDonough, GA 30253  
P: 678-583-3824



From: melissa collum <melissa.collum@hcwa.com>  
Sent: Friday, June 23, 2023 2:39 PM  
To: fritz jacques <fritz.jacques@hcwa.com>  
Subject: Water Usage Request

Fritz,

Good afternoon. Ms. Angie Burdeshaw contacted our office in regards to several parcels that are currently being rezoned. She is inquiring about water availability for the following properties.

Parcel No. 162-01004003

Parcel No. 147-01003009

Parcel No. 163-01001001

Parcel No. 162-01004001

Angie Burdeshaw

Phone: 678-481-0590

Email: southerngroundregroup@gmail.com

Thanks,

Melissa Collum | Project Administrator, Engineering

Henry County Water Authority

100 Westridge Industrial Blvd | McDonough, GA 30253

P: 678-583-3821

---

Angie Burdeshaw <southerngroundregroup@gmail.com> Mon, Jun 26, 2023 at 1:01 PM  
To: fritz jacques <fritz.jacques@hcwa.com>  
Cc: Meter Sales <m-sales@hcwa.com>, cody miller <cody.miller@hcwa.com>, melissa collum <melissa.collum@hcwa.com>, mitchell benson <mitchell.benson@hcwa.com>, nikeva silverton <nikeva.silverton@hcwa.com>

Thank you for the information. Have a great day!

Angie  
[Quoted text hidden]

Angie Sikes Burdeshaw  
Associate Broker, REALTOR® in Georgia & Florida  
southerngroundregroup@gmail.com  
Direct Phone: 678.481.0590

Southside, REALTORS® - Locust Grove, GEORGIA



Paradise Property Brokers - Miramar Beach, FLORIDA



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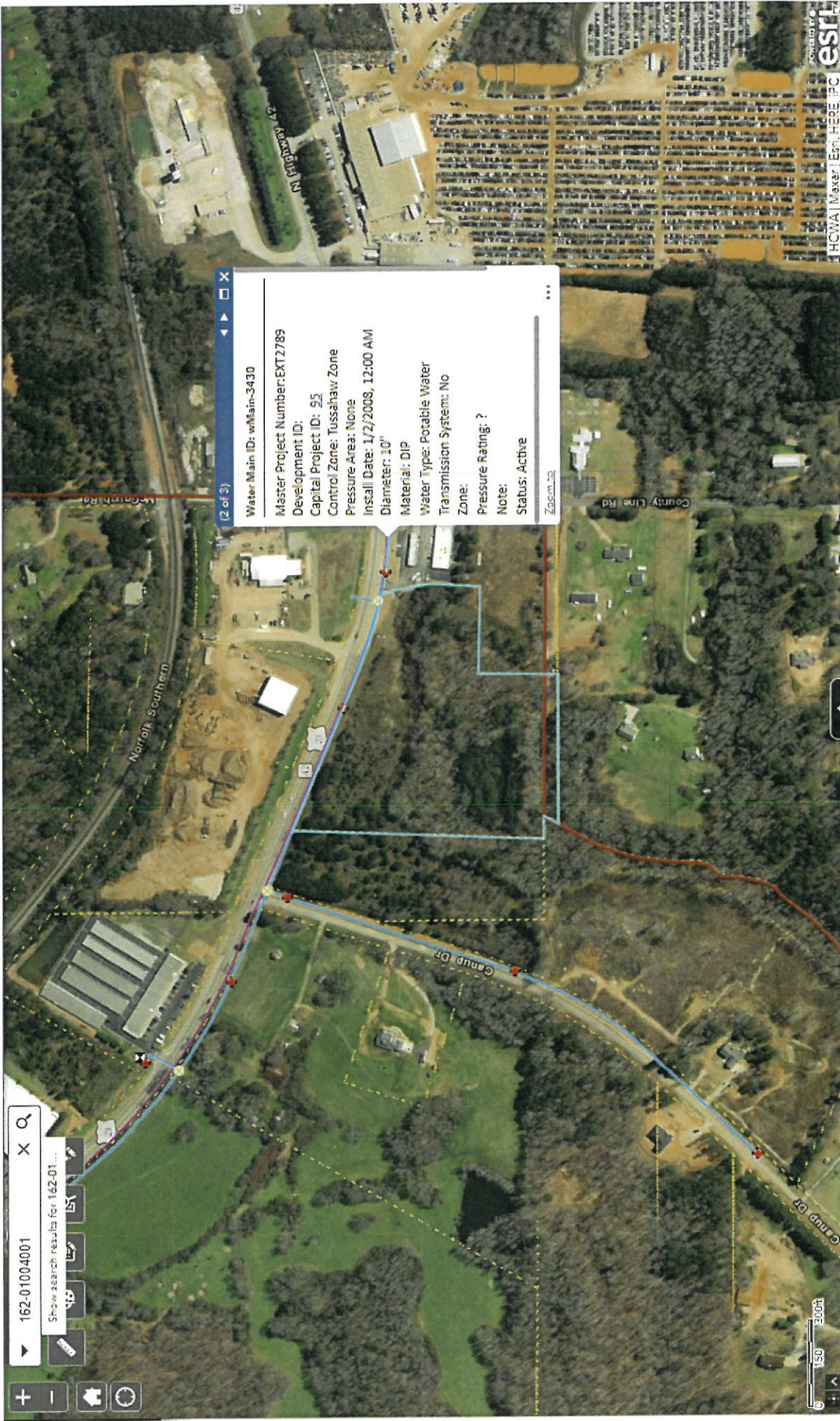
Angie Burdeshaw <southerngroundregroup@gmail.com> Mon, Jun 26, 2023 at 3:06 PM  
To: Charanjit Singh <singhcharanjit6998@gmail.com>

Thank you,

Angie Sikes Burdeshaw  
Associate Broker, REALTOR® in Georgia & Florida  
southerngroundregroup@gmail.com  
Direct Phone: 678.481.0590

Southside, REALTORS® - Locust Grove, GEORGIA







LOCUST EST. 1893  
GROVE

## **EXHIBIT B**





# CONDITIONAL USE EVALUATION REPORT

September 5, 2023

FILE: CU-23-07-02

## TRUCK PARKING – GRAVEL LOT

<b>Property Information</b>	
<b>Tax ID</b>	162-01004003 & 162-01004001
<b>Location/address</b>	Highway 42 north of County Line Road
<b>Parcel Size</b>	15.19 +/- acre
<b>Current Zoning</b>	M-1 (Light Manufacturing)
<b>Request</b>	The applicant is requesting a Conditional Use to develop the property as a gravel truck parking lot
<b>Proposed Use</b>	Gravel Truck Parking Lot
<b>Existing Land Use</b>	Vacant/Undeveloped
<b>Future Land Use</b>	Industrial
<b>Recommendation</b>	Approval with conditions

## Summary

Five Rivers North, LLC of Stockbridge, GA requests conditional use for property located on Highway 42 north of County line Road (Parcel IDs 162-01004001 and 162-01004003) in Land Lot 130 of the 2<sup>nd</sup> District. The property consists of 15.19 +/- acres and is currently zoned M-1—(Light Manufacturing). The applicant requests a Conditional Use for the purpose of developing the subject parcels for use as a gravel surface tractor-trailer/oversized vehicle parking lot.

Tractor-trailer & oversized vehicle parking is permitted with an approved Conditional Use within the M-1 (Light Manufacturing) and M-2 (General Industrial) zoning districts and is consistent with the Industrial Future Land Use Map designation of the subject property. Chapter 15.44.060 of the Locust Grove Code of Ordinances includes a provision for gravel parking within the M-1 (Light Manufacturing) and M-2 (Heavy Manufacturing) zoning districts, only, with an approved Conditional Use granted by the City of Locust City Council.

	<i>Current Zoning</i>	<i>Current Land Use</i>
North	M-2 (General Industrial) and C-1 (Neighborhood Commercial)	Industrial and Commercial
South	AR Butts County (Agricultural Residential)	Residential
East	HB City of Jenkinsburg	Commercial
West	M-1 Henry County (Light Manufacturing)	Vacant/Undeveloped

Source: City of Locust Grove Official Zoning Map, updated 2023



# CONDITIONAL USE EVALUATION REPORT

FILE: CU-23-07-02

September 5, 2023

## TRUCK PARKING – GRAVEL LOT

The area surrounding the subject property is primarily designated for light industrial and commercial uses. The adjacent property to the west is located within unincorporated Henry County and is currently zoned M-1 (Light Manufacturing). The property located across County Line Road is within the incorporated limits of the City of Jenkinsburg and is currently zoned HB. The abutting properties to the south are located in Butts County and are designated as AR (Agricultural Residential).

### Service Delivery / Infrastructure

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**Water and Sewer:** No facilities requiring water or sewer services are shown on the proposed site plan.

**Police Services:** Locust Grove Police Department will continue to perform regular patrols of the area.

**Fire:** Fire and emergency services will be performed by Henry County as is similar with other portions of the city.

**Transportation Impacts:** The subject property is located within an area of existing industrial and commercial development and will likely serve existing truck traffic. The truck and oversized vehicle entrance/exit location shall be located on Highway 42, with emergency and passenger vehicle access only on County Line Road.

### Criteria for Evaluation of Request

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#### Section 17.04.315 Procedure for Hearing before City Council.

**(a) All proposed amendments to this chapter or to the official zoning map with required site plans shall be considered at public hearing. The City Council shall consider the following:**

**(1) The possible effects of the change in the regulations or map on the character of a zoning district, a particular piece of property, neighborhood, a particular area, or the community.** The request is consistent with the existing and future character and use of the surrounding properties located within the City.

**(2) The relation that the proposed amendment bears to the purpose of the overall zoning scheme with due consideration given to whether or not the proposed change will help carry out the purposes of this Chapter.** The request is consistent with the applicable zoning district, as it is located within the M-1 (Light Manufacturing) zoning district.

**(3) Consistency with the Land Use Plan.** The request is consistent with the future land use plan for this area; however, a conditional use is required for all truck parking lots.



# CONDITIONAL USE EVALUATION REPORT

FILE: CU-23-07-02

September 5, 2023

## TRUCK PARKING – GRAVEL LOT

**(4) The potential impact of the proposed amendment on City infrastructure including water and sewerage systems.** No water/sewer is shown on the proposed site plan and the subject parcels do not have access to City water/sanitary sewer service. No impact is anticipated.

**(5) The impact of the proposed amendment on adjacent thoroughfares, pedestrian and vehicular circulation and traffic volumes.** There is little additional impact with this request in terms of vehicular circulation, as the parking lot will likely be serving existing truck traffic. The proposed truck parking facility may improve circulation in extant private parking lots within the City by providing drivers with an alternative option.

**(6) The impact upon adjacent property owners should the request be approved.** Much of the surrounding area has already been developed for industrial use or is designated for future industrial use. Any impact to the adjoining Butts County AR (Agricultural Residential) parcels can be mitigated by buffering, lighting, and security. Please refer to the conditions listed below.

**(7) The ability of the subject land to be developed as it is presently zoned.** The subject property is zoned M-1 (Light Manufacturing). Any use that is permitted by right or with an approved conditional use in the M-1 zoning district allows the subject property to be developed as it is presently zoned.

**(8) The physical conditions of the site relative to its capability to be developed as requested, including topography, drainage, access, and size and shape of the property.** There are no known physical conditions on the property that would preclude development.

**(9) The merits of the requested change in zoning relative to any other guidelines and policies for development which the Community Development staff and City Council may use in furthering the objectives of the Land Use Plan.** The merits are consistent with the City of Locust Grove's zoning ordinance and Future Land Use Map. The proposed truck parking will also fulfill an existing need for more formalized truck parking locations within the City.

## Recommendation

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Staff recommends approval of the request with the following conditions:

- 1) All entry/exit points to the truck parking area shall be secured with fencing, gates, and/or security.
- 2) In addition to required buffering, the applicant shall install opaque privacy fencing eight (8) feet in height around the perimeter of the parking lot.
- 3) The applicant shall coordinate with the LGPD for the installation of flock cameras.
- 4) The gravel surface shall be kept in a neat and orderly fashion at all times and is subject to an



# CONDITIONAL USE EVALUATION REPORT

FILE: CU-23-07-02

September 5, 2023

## TRUCK PARKING – GRAVEL LOT

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annual inspection from the City Code Enforcement Officer.

- 5) No tractor-trailer or any other vehicle shall be occupied overnight.
- 6) No driveway shall be located on County Line Road. All entrance and exit points shall be located on Highway 42.
- 7) Security cameras shall be installed with occasional checks by the City of Locust Grove Code Enforcement to ensure compliance with no overnight sleeping is maintained. Camera recordings shall be maintained on record for no less than 30 days.

## EXHIBIT C

# Henry Herald

38 Sloan Street  
McDonough, Georgia 30253

Phone (770) 951-9161  
Fax (770) 339-5869

## PUBLISHER'S AFFIDAVIT

STATE OF GEORGIA  
COUNTY OF HENRY

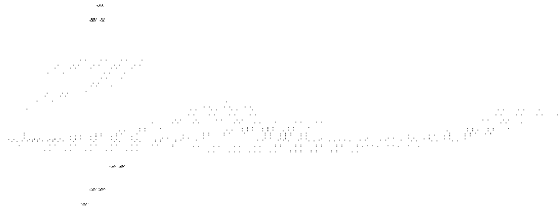
Personally appeared before the undersigned, a notary public within and for said county and state, Douglas W. Crow, Vice President of Operations, Times Journal Inc., which published the Henry Herald, Published at McDonough, County of Henry, State of Georgia, and being the official organ for the publication of legal advertisements for said county, who being duly sworn, states on oath that the report of

Ad No.: **355036**

Name and File No.: **HDH1761 GPN16 8/21/23**

a true copy of which is hereto attached, was published in said newspaper on the following date(s):

**07/26/2023**



---

Douglas W. Crow, Vice President of Operations, Times Journal Inc.

Sworn and subscribed to me 07/26/2023



---

Notary Public  
My commission expires 03/03/2026

Ad text :  
Hdh1761  
gpn16

Public Hearing Notice  
City of Locust Grove  
August 21, 2023  
6:00 PM  
Locust Grove Public Safety Building  
3640 Highway 42 South  
Locust Grove, GA 30248

Notice is hereby given as required by Chapter 66 of Title 36 of the Official Code of Georgia Annotated (?Zoning Procedures Law?) and Section 17.04 of the Code of Ordinances, City of Locust Grove, Georgia, that the Locust Grove City Council, on Monday, August 21, 2023, at 6:00 PM, will conduct public hearings for the purpose of the following:

#### CONDITIONAL USE

CU-23-07-02 Five Rivers North, LLC of Stockbridge, GA requests a Conditional Use for 15.19 +/- acres located on Highway 42 and County Line Road (Parcel ID # 162-01004003 and 162-01004001) in Land Lot 130 of the 2nd District for the purpose of developing a gravel truck parking lot.

#### CAPITAL IMPROVEMENT ELEMENT (CIE) UPDATE

A resolution to transmit an annual update of the Capital Improvement Element for the City of Locust Grove portion of the Henry County-Cities Joint Comprehensive Plan to the Atlanta Regional Commission for regional and state review; to authorize the Mayor and City Clerk to execute and deliver any documents necessary to carry out this resolution; to repeal inconsistent provisions; to provide an effective date; and for other purposes.

The public hearings will be held in the Locust Grove Public Safety Building, located at 3640 Highway 42 South.

Daunt? Gibbs  
Community Development Director - City of Locust Grove  
7:26, 2023

**AFFIDAVIT OF SIGN POSTING**

Personally appeared, before the undersigned officer duly authorized to administer oaths, Mr. Brian Fornal, who, after being duly sworn, testifies as follows:

1.

My name is Brian Fornal. I am over twenty-one years of age and competent to give this, my affidavit, based upon my personal knowledge.

2.

Five Rivers North, LLC of Stockbridge, GA requests a Conditional Use for 15.19+/- acres located on Highway 42 and County Line Road (Parcel ID # 162-01004003 and 162-01004001) in Land Lot 130 of the 2<sup>nd</sup> District for the purpose of developing a gravel truck parking lot.

3.

On the 24<sup>th</sup> day of July 2023, I, Brian Fornal posted two double-sided sign notifications on the subject parcel advertising a public hearing on the above request to be heard by the Locust Grove City Council on the 21<sup>st</sup> day of August at 6:00 p.m. at the Locust Grove Public Safety Building, 3640 Highway 42, Locust Grove, Georgia 30248. Photographs of same are attached hereto as Exhibit "A" and incorporated herein by reference. The public hearing signs were posted at the following locations:

1. Double-sided sign posted at 11:17 AM on Highway 42 on 7/24/23.
2. Double-sided sign posted at 11:24 AM on County Line Road on 7/24/23.



FURTHER AFFIANT SAYETH NOT.

This 2<sup>nd</sup> day of August, 2023.

3   
Affiant

Sworn and subscribed before me  
this 2nd day of Aug,

  
Notary Public

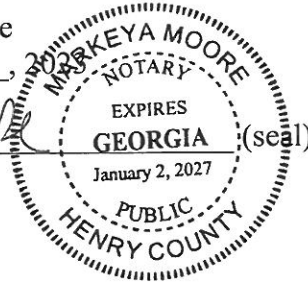


Exhibit "A"







## **EXHIBIT D**

- 1) All entry/exit points to the truck parking area shall be secured with fencing, gates, and/or security.
- 2) In addition to required buffering, the applicant shall install opaque privacy fencing eight (8) feet in height around the perimeter of the parking lot.
- 3) The applicant shall coordinate with the LGPD for the installation of flock cameras.
- 4) The gravel surface shall be kept in a neat and orderly fashion at all times and is subject to an annual inspection from the City Code Enforcement Officer.
- 5) No tractor-trailer or any other vehicle shall be occupied overnight.
- 6) No driveway shall be located on County Line Road. All entrance and exit points shall be located on Highway 42.
- 7) Security cameras shall be installed with occasional checks by the City of Locust Grove Code Enforcement to ensure compliance with no overnight sleeping is maintained. Camera recordings shall be maintained on record for no less than 30 days.



**Police Department**  
P. O. Box 900  
Locust Grove, Georgia 30248

Phone: (770) 957-5043  
Facsimile (770) 954-1223

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## Item Coversheet

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**Item:** Request to declare City Vehicles as Surplus

**Action Item:**  Yes  No

**Public Hearing Item:**  Yes  No

**Executive Session Item:**  Yes  No

**Advertised Date:** N/A

**Budget Item:** Incremental – General Fund/Dept. 3230 – Public Safety

**Date Received:** August 16, 2023

**Workshop Date:** August 21, 2023

**Regular Meeting Date:** September 4, 2023

**Discussion:**

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Attached is a request to declare city owned vehicles as surplus property per City of Locust Grove Code 3.04.030 (A) (1) for disposal. These vehicles have high mileage and considerable repair issues.

**Recommendation:**

---

**APPROVE REQUEST TO DECLARE THE THREE LISTED CITY OWNED VEHICLES AS SURPLUS PROPERTY. LISTED VEHICLES WILL BE SOLD OR DISPOSED OF IN ACCORDNACE WITH LOCAL ORDIANCES AND STATE LAW.**



# City of Locust Grove Police Department

D. B. AUSTIN ▪ CHIEF OF POLICE

3640 Highway 42 Locust Grove, Georgia 30248 \* 770-957-7055 \* Fax 678-583-3588

**Request the following police equipment to be deemed excess/surplus property:**  
**Locust Grove City Ordinance: 3.04.030 (A) (1)**

**Unit 01 - 2014 Ford Interceptor SUV VIN # 1FM5K8AR6EGC49831.**

- 115,000 Miles
- Blown motor (Estimate of \$8000.00 to replace with a “Jasper” engine)
- Vehicle in overall poor condition

**Unit T3 - 2011 Ford Crown Victorian VIN # 2FABP7BVBX181012.**

- 109,143 Miles
- Blown head gasket.
- Transmission issues
- Purchased used by prior administration.

**Unit T4 – 2011 Ford Crown Victorian VIN # 2FABP7BXVX181010.**

- 110,000 Miles
- Blown head gasket and warped manifold.
- Vehicle in overall poor condition
- Purchase used by prior administration.



## Community Development Department

P. O. Box 900  
Locust Grove, Georgia 30248  
Phone: (770) 957-5043  
Facsimile (770) 954-1223

# Item Coversheet

---

**Item:** Resolution approving the architectural plans submitted for Springs Apartments, to be located on Price Drive

**Action Item:**  Yes  No

**Public Hearing Item:**  Yes  No

**Executive Session Item:**  Yes  No

**Advertised Date:** NA

**Budget Item:** No

**Date Received:** July 24, 2023

**Workshop Date:** August 21, 2023

**Regular Meeting Date:** September 5, 2023

### Discussion:

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Continental Properties of Menomonee Falls, Wisconsin has submitted building elevation renderings for a proposed apartment community to be located on Price Drive. The Springs Apartments will be located on what was formerly the Tellus apartment site and will be in substantial compliance with the previously approved site plan.

As part of the requirements for building permits for new structures or major renovations, it is necessary for the Mayor and City Council, acting in their capacity as the Architectural Review Board, to review the proposed building exterior elevations for comment and approval.

The proposed development will consist of 2 and 3-story multifamily residential structures featuring “modern farmhouse” architectural styling. Exterior materials include fiber cement board-and-batten siding with stone accents, all in a neutral color palette.

Chapter 15.44 Architectural Review

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15.44.050 - Exterior materials standards.

A. Except where otherwise provided in this chapter or in the Code of Ordinances, the exterior architectural features of buildings and structures within multifamily, office/institutional, commercial, and industrial zoning districts shall adhere to the following minimum standards:

1. All primary/accent exterior siding materials shall be limited to:

Primary: Four sides majority brick on all commercially zoned projects, with remaining façades consisting of natural stone including granite, marble, sandstone, field stone, or any other natural stone approved by the Architectural Review Board. Structures located in areas having a historic designation shall maintain acceptable architectural character of the respective area. "Tilt-up" concrete shall be permitted as a primary exterior siding material for buildings in industrial zoning districts or acceptable substitute as approved by the Architectural Review Board.

Accent: Clay tile with baked-on enamel finish; architecturally treated decorative concrete block; architecturally treated slabs or block either fluted or with exposed aggregate; stucco; EFIS; masonry siding such as cement fiberboard siding ("hardiplank"), wood; or acceptable substitute approved by the board. "Tilt-up" concrete shall be permitted as a primary exterior siding material for buildings in industrial zoning districts or acceptable substitute as approved by the board.

2. All exterior siding material such as aluminum, steel, vinyl, mirrored or reflective glass, cinderblock, unfinished concrete, fiberglass or plastic are prohibited except that architectural fiberglass or plastic can be used to such extent that such material is used as detailing and decorative trim if approved by the board.

3. Fifty percent of the width of the front facade of the building shall consist of fenestration. All fenestration comprised of glass shall be multi-paned in appearance. Single-paned plate glass windows greater than six square feet in surface area without the appearance of being multi-paned shall be prohibited unless approved by the board.

4. All exterior painted surfaces, where visible from the public street shall be painted in earth tones. Colors shall be non-primary colors including darker and cooler shades of green, red, such as brick, yellow including beige, and lighter shades of brown including tan. However, white may be permitted if approved by the board. Corporate graphics, trademarks, corporate logos, corporate service marks and corporate branding items may be permitted by the board to the extent used for decorative trim or for signage as part of the overall exterior features.

5. Roofs on multifamily and commercial or office buildings shall generally consist of a pitch of 7/12 or greater with exception of porches and porticos and be comprised of asphalt, cedar shake, cement tile material. Standing seam metal roofing shall be allowed as approved by the board. Flat roofs shall be permitted in larger commercial and industrial zoning where rooftop equipment is screened from view by raised parapet walls and shall be consistently flat across the building length with exception of features of fenestration to break up building mass and long, monotonous facades. Flat roofs may be permitted on larger multifamily and office buildings as approved by the board.



6. Burglar bars and steel roll down doors or curtains shall not be visible from the public street, with exception to buildings in industrial zoning districts as approved by the board.
  7. Service bays shall be designed so that the openings of service bays are not visible from a public street (i.e., side entry), with exception to buildings in industrial zoning districts as approved by the board.
  8. Fabric and canvas awnings and all other building materials must be of durable quality and shall be compatible with materials used in adjoining buildings.
  9. All exterior building elevations that face public streets and/or customer parking areas shall be designed so that there are no large expanses of blank walls. This requirement can be met by employing the use of architectural features including, but not limited to, the following: Doors, windows, pilasters, columns, horizontal and vertical offsets, material and color variations, decorative cornices, awnings, canopies, murals, and graphics.
- B. Additional requirements. Properties with material changes of structures lying within the historic preservation district overlay shall abide by the certificate of appropriateness process for the historic preservation district and follow the design guidelines as promulgated by the historic preservation commission. Properties within the Gateway Town Center and/or the Locust Grove Town Center LCI area shall abide by the applicable design guidelines in addition to this chapter.
- C. The exterior architectural features of buildings and structures within the office/institutional and commercial zoning classifications shall adhere to the following additional requirement:  
Front facades and any exterior sides facing public streets shall consist of a minimum of seventy percent of brick or natural or manufactured stone or a combination thereof, except where a building over three stories in height and/or greater than twenty thousand square feet in total building area may reduce this requirement as approved by the board where the structure provides adequate fenestration and design features or where a building is designed under LEED Silver, Gold, or Green standards.

**Recommendation:**

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**STAFF RECOMMENDS APPROVAL OF THE ARCHITECTURAL BUILDING ELEVATIONS SUBMITTED BY CONTINENTAL PROPERTIES FOR SPRINGS APARTMENTS TO BE LOCATED ON PRICE DRIVE.**

RESOLUTION NO. \_\_\_\_\_

**A RESOLUTION TO APPROVE ARCHITECTURAL PLANS FOR SPRINGS APARTMENTS TO BE LOCATED ON PRICE DRIVE IN ACCORDANCE WITH CHAPTER 15.44 OF THE LOCUST GROVE CITY CODE; TO AUTHORIZE THE MAYOR AND CITY CLERK TO EXECUTE ANY DOCUMENTS NECESSARY TO CARRY OUT THIS RESOLUTION; TO REPEAL INCONSISTENT PROVISIONS; TO PROVIDE AN EFFECTIVE DATE; AND FOR OTHER PURPOSES**

**W I T N E S S E T H :**

**WHEREAS**, the City of Locust Grove, Georgia (“City”) adopted Chapter 15.44 (“Chapter”) entitled “Architectural Review”, and;

**WHEREAS**, the purpose of the Chapter is to regulate the aesthetics, quality of exterior building materials and to the promotion of health, safety, prosperity and general welfare of the citizens of Locust Grove, and;

**WHEREAS**, the Mayor and City Council consist of the Architectural Review Board for the City of Locust Grove (“Board”) per Section 15.44.040, and;

**WHEREAS**, Continental Properties of Menomonee Falls, WI submitted building elevation renderings for a proposed apartment community to be located on Price Drive attached hereto and made part thereof as **Exhibit “A”**, and;

**WHEREAS**, the Board may review and make comment on architectural plans and issue approval per Chapter 15.44 (“Chapter”) of the Code of Ordinances for the City of Locust Grove, and;

**WHEREAS**, the Board in the exercise of their sound judgment and discretion, after giving thorough thought to all implications involved, and keeping in mind the public interest and welfare to the citizens of the City, have determined this request for architectural review to be in the best interests of the citizens of the City, that this Resolution be adopted.

**THEREFORE, IT IS NOW RESOLVED BY THE ARCHITECTURAL REVIEW BOARD OF THE CITY OF LOCUST GROVE, GEORGIA, AS FOLLOWS:**

1. **Finding.** That the Locust Grove Architectural Review Board hereby finds that the Plans submitted by Continental Properties appear to meet the requirements of Chapter 15.44 of City of Locust Grove Code.
2. **Conditions.** That the Locust Grove Architectural Review Board finding in Item 1 above is subject to the following conditions:
  - a. Final Colors. That final colors and type of materials be reviewed and approved by the Community Development Director to meet all requirements of Chapter 15.44

of City of Locust Grove Code as “earth tone” in nature.

- b. Material Changes. That any material deviations in exterior architectural features, materials, or colors as depicted in the plans in **Exhibit “A”** require review and approval by the Architectural Review Board.
  - c. Extension of Approved Plans. That the approval granted herein may be in effect for a period not to exceed eighteen (18) months from the approval date of this Resolution.
3. **Public Purpose.** The Board finds that the foregoing actions constitute a major stem in preserving the health, safety, well-being and economic vitality of the community and are, therefore, consistent with its public purposes and powers.
  4. **Authority.** That the Board hereby authorizes the City Clerk to affix a stamp of the date of approval on the revised architectural plans in accordance with Section 15.44.060 J, to affix the City Seal if necessary, to carry out this Resolution, and to place this Resolution and any related documents among the official records of the City for future reference.
  5. **Severability.** To extent any portion of this Resolution is declared to be invalid, unenforceable, or nonbinding, that shall not affect the remaining portions of this Resolution.
  6. **Repeal of Conflicting Provisions.** All Board resolutions are hereby repealed to the extent they are inconsistent with this Resolution.
  7. **Effective Date.** This Resolution shall take effect immediately.

THIS RESOLUTION adopted this 5<sup>th</sup> day of September, 2023.

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ROBERT S. PRICE, Mayor

ATTEST:

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MISTY SPURLING, City Clerk

(Seal)

APPROVED AS TO FORM:

---

City Attorney

**EXHIBIT "A"**

## SPRINGS AT LOCUST GROVE ARCHITECTURAL NARRATIVE

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Continental 737 Fund LLC ("Continental") is seeking Architectural Review Board approval for the proposed multi-family development on parcel 112-01013003, to be known as the "Springs at Locust Grove." In November 2022, the property was rezoned from C-2 (General Commercial) to PD (Planned Development). During the approvals process, it was determined that the architectural design for the community should focus on urban farmhouse-style architecture.

The Springs at Locust Grove is a 328-home apartment community including ten residential buildings. The community will also include a clubhouse, detached garages, a maintenance building, a mail kiosk, and a trash enclosure. All the buildings mentioned above were designed to contemplate a blend of traditional, rustic, and modern elements critical to the farmhouse style and consistent with the intent of the original proposal. Specific features to note include:

**Residential Building Types:** Consistent with the original proposal, the Springs at Locust Grove will include a mix of 3-story and 2-story buildings. Homes in the 2-story buildings incorporate private, ground-level entrances for each home. Additionally, eight attached garages are provided in each 2-story building. Homes in the 3-story buildings are provided with a secured, shared-access corridor.

**Gabled Roof and Covered Entrances:** Farmhouse architecture typically features gabled roofs. These roof lines were thoughtfully articulated utilizing this feature, but remained shallow, with slopes being 4:12 along primary sections and 6:12 in isolated areas to provide appropriate articulation while ensuring that the roofs do not pull attention away from the primary architectural interest of the buildings. Every entry is also covered, which mimics a common style often used in the farmhouse design to provide protection from the elements.

**Siding:** The board and batten white siding was chosen as the most predominant design element to carry through the community's building design. The vertical boards add visual interest and texture to the building. Lap siding is utilized as a secondary feature to provide contrast the primary façade utilizing accenting color. All siding materials will be fiber cement siding due to its superior durability and its ability to maintain its high-quality finish.

**Color Scheme:** The color scheme selected for the proposal includes timeless neutrals. In keeping with the farmhouse architectural style, white was chosen as the base for the architecture, with many pops of deep brown and black accents.

**Natural Light:** Natural light is essential to the farmhouse style design. Large multi-paned windows break up the building facade and provide abundant natural light within the homes.

**Private Outdoor Space:** Every home has a patio or balcony, providing each resident with a connection to the natural environment. These spaces also contribute to the overall architectural character and interest.



**Masonry:** The incorporation of light stone at the base of the building columns provides extra architectural detail to accent the dark columns provided.

In summary, the proposed architectural style is consistent with the design intent that was established during the previous entitlement process, and provides a high-quality and timeless design. Continental looks forward to the opportunity to obtain the Architectural Review Board's approval and to bring life to the vision that was laid out for this Planned Development.

Sincerely,

*Max Saichek*

Max Saichek

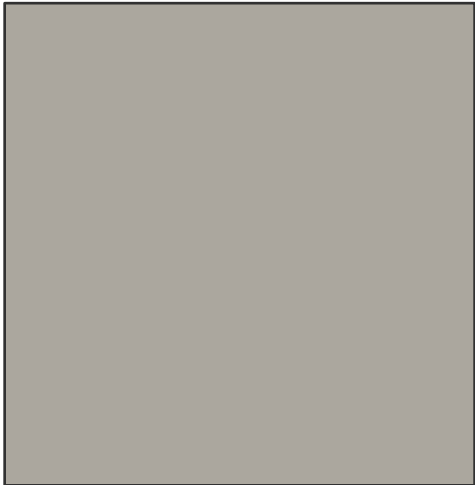
Development Associate

Msaichek@cproperties.com

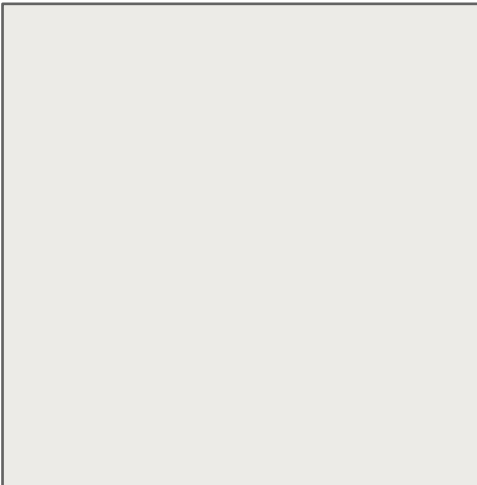
# SPRINGS AT LOCUST GROVE

## ELEVATION COLOR SCHEME

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SW 7017  
DORIAN GRAY



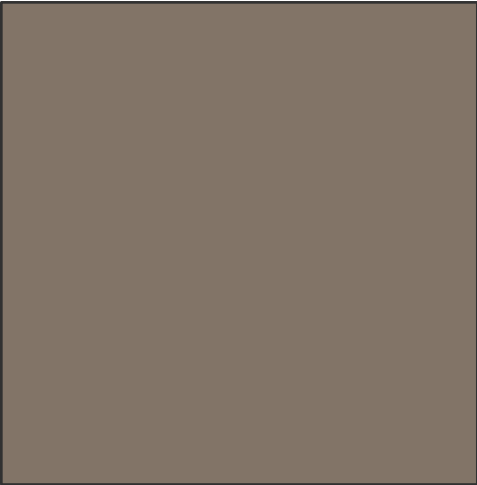
SW 7005  
PURE WHITE



SW 7069  
IRON ORE



COUNTRY RUBBLE  
ANTIQUE CREAM



SW 7514  
FOOTHILLS



ASPHALT SHINGLES  
OXFORD GREY



27'- 7 5/8"

ROOF  
ASPHALT SHINGLES  
OXFORD GREY

METAL ROOF  
GALULUME PLUS

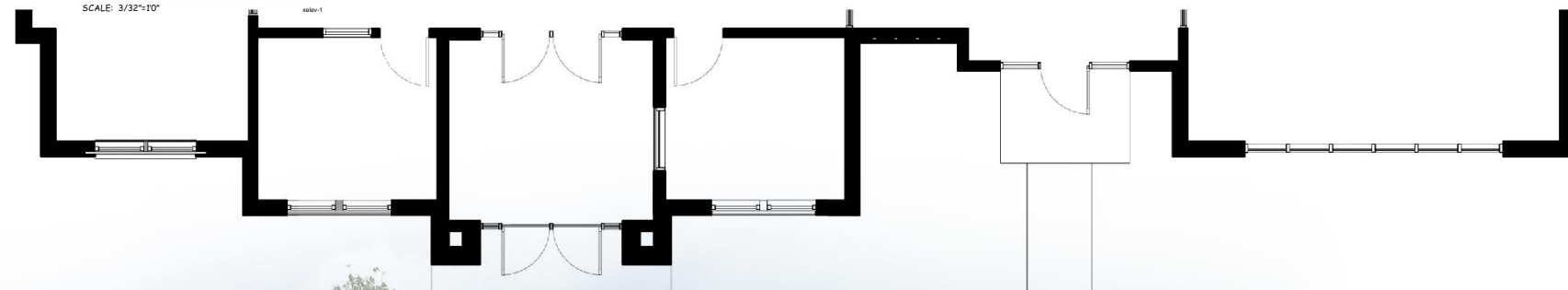
BOARD & BATTEN  
SW 7005  
PURE WHITE

LAP SIDING  
SW 7017  
DORIAN GRAY



Front Elevation

SCALE: 3/32"=10"



TRIM  
SW 7069  
IRON ORE

WINDOW PANE  
SW 7005  
PURE WHITE

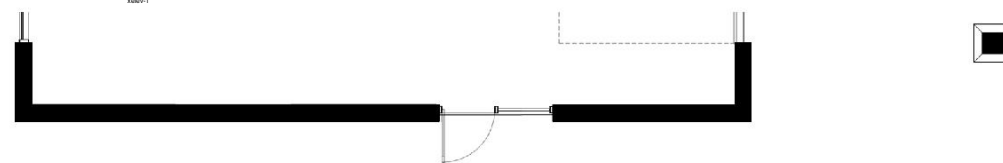
DOORS  
SW 7069  
IRON ORE



COLUMNS  
COUNTRY RUBBLE  
ANTIQUE CREAM

Right Side Elevation

SCALE: 3/32"=10"



CLUBHOUSE

4340 SQ FT

05-12-2023



ROOF  
ASPHALT SHINGLES  
OXFORD GREY

TRIM  
SW 7069  
IRON ORE

LAP SIDING  
SW 7001  
DORIAN GRAY

BOARD & BATTEN  
SW 7005  
PURE WHITE



**Rear Elevation**

SCALE: 3/32"=10" 05/23/23



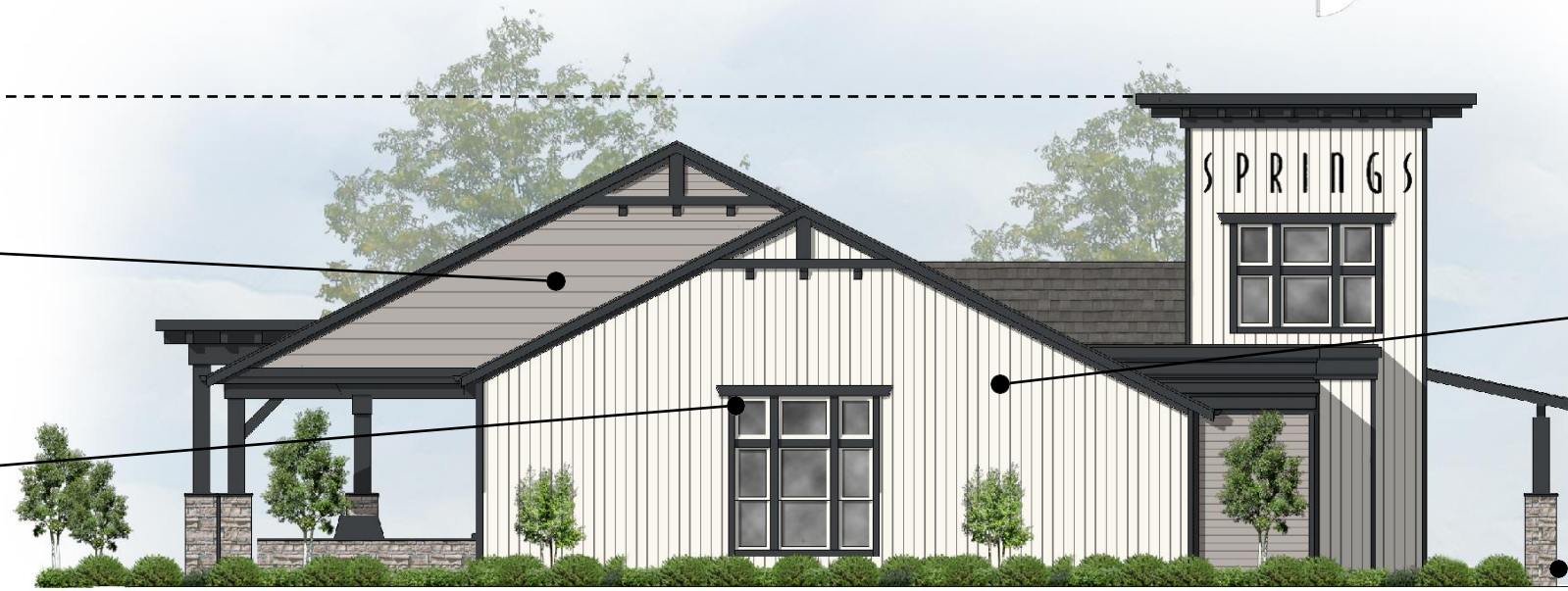
27'- 7 5/8"

LAP SIDING  
SW 7001  
DORIAN GRAY

WINDOW PANE  
SW 7005  
PURE WHITE

BOARD & BATTEN  
SW 7005  
PURE WHITE

COLUMNS  
COUNTRY RUBBLE  
ANTIQUE CREAM



**Left Elevation**

SCALE: 3/32"=10" 05/23/23



**CLUBHOUSE**

4340 SQ FT

05-12-2023



**BOARD & BATTEN**  
SW 7005  
PURE WHITE

**LAP SIDING**  
SW 7001  
DORIAN GRAY

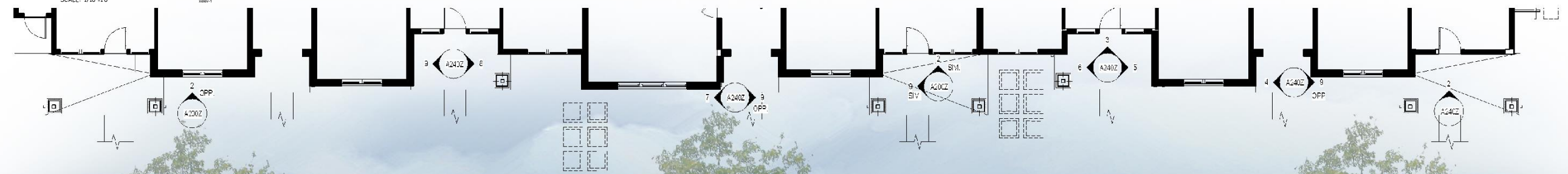
**DOORS**  
SW 7514  
FOOTHILLS

**COLUMNS**  
COUNTRY RUBBLE  
ANTIQUE CREAM



**Front Elevation**

SCALE: 1/16"=1'-0"



**ROOF**  
ASPHALT SHINGLES  
OXFORD GREY

**WINDOW PANE**  
SW 7005  
PURE WHITE

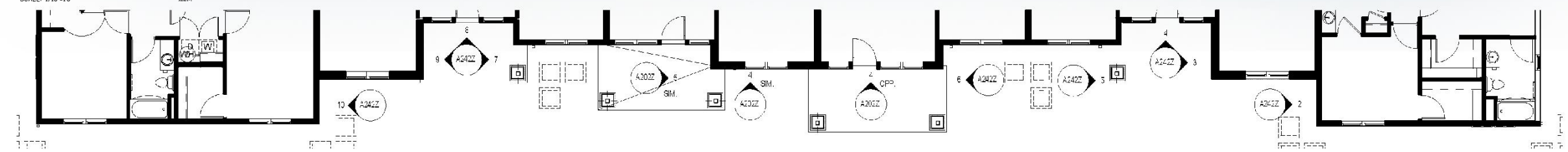
**TRIM**  
SW 7069  
IRON ORE

42'- 8 1/4"



**Rear Elevation**

SCALE: 1/16"=1'-0"



**3-Story  
Building  
Z36A**  
05-12-2023



**BOARD & BATTEN**  
SW 7005  
PURE WHITE

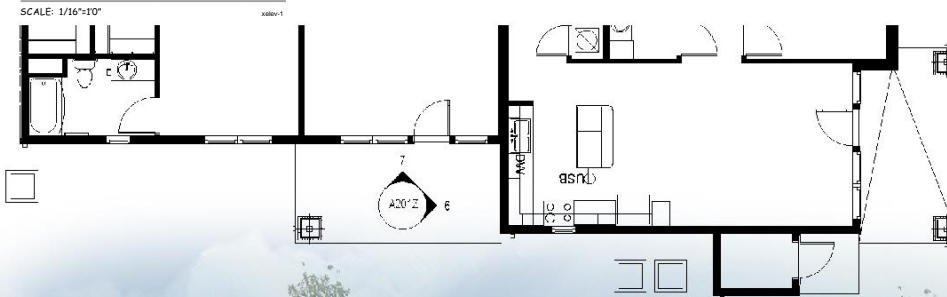
**LAP SIDING**  
SW 7001  
DORIAN GRAY

**DOORS**  
SW 7514  
FOOTHILLS

**COLUMNS**  
COUNTRY RUBBLE  
ANTIQUE CREAM



**Left Elevation**



42'- 8 1/4"

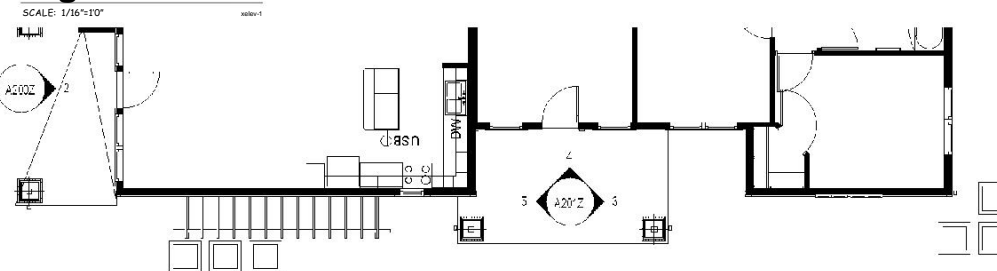
**WINDOW PANE**  
SW 7005  
PURE WHITE

**TRIM**  
SW 7069  
IRON ORE

**ROOF**  
ASPHALT SHINGLES  
OXFORD GREY



**Right Elevation**



**3-Story  
Building  
Z36A**

05-12-2023





3-Story Building Rendering



**BOARD & BATTEN**  
SW 7005  
PURE WHITE

**LAP SIDING**  
SW 7001  
DORIAN GRAY

**FIRST FLOOR DOORS**  
SW 7514  
FOOTHILLS

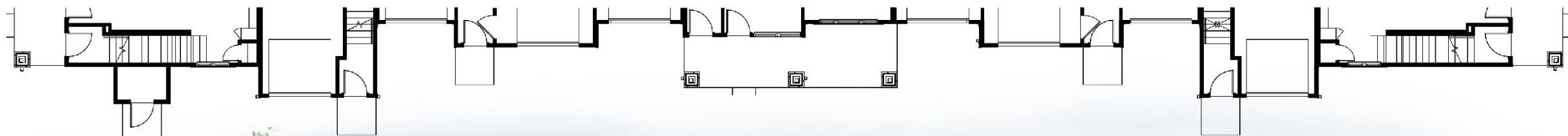
**GARAGE DOOR**  
SW 7514  
FOOTHILLS

**SECOND FLOOR DOORS**  
SW 7069  
IRON ORE



**Front Elevation**

SCALE: 1/16"=10"



31'-5"

**WINDOW PANE**  
SW 7005  
PURE WHITE

**ROOF**  
ASPHALT SHINGLES  
OXFORD GREY

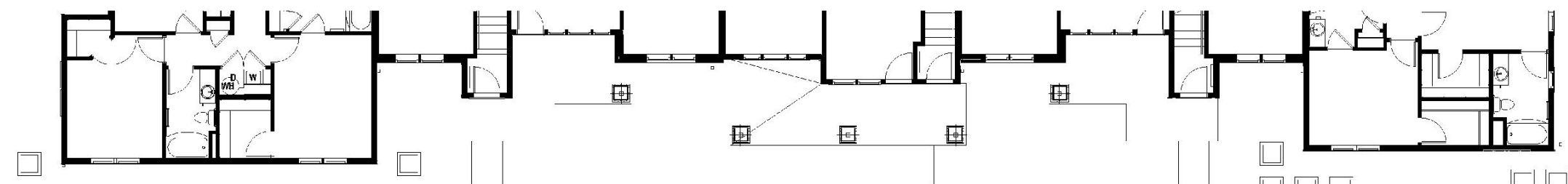
**COLUMNS**  
COUNTRY RUBBLE  
ANTIQUE CREAM



**Rear Elevation**

SCALE: 1/16"=10"

**TRIM**  
SW 7069  
IRON ORE



2-Story  
Building  
**BUILDING B20**  
05-12-2023



**BOARD & BATTEN**  
SW 7005  
PURE WHITE

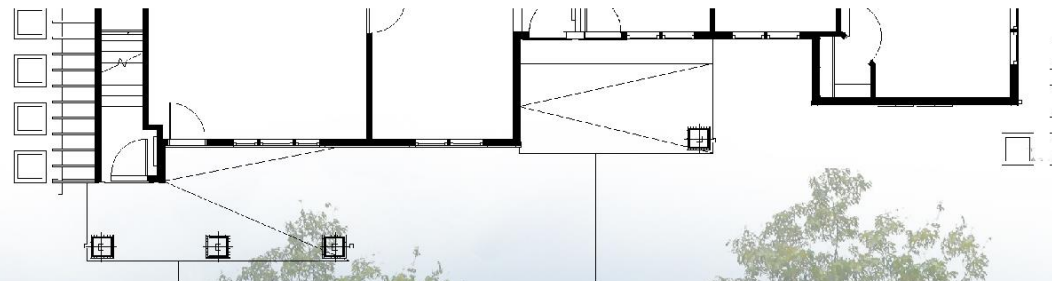
**LAP SIDING**  
SW 7017  
DORIAN GRAY

**SECOND FLOOR DOORS**  
SW 7069  
IRON ORE

**FIRST FLOOR DOORS**  
SW 7514  
FOOTHILLS

**Right Elevation**

SCALE: 1/16"=1'-0" xdbw-1



**TRIM**  
SW 7069  
IRON ORE

**WINDOW PANE**  
SW 7005  
PURE WHITE

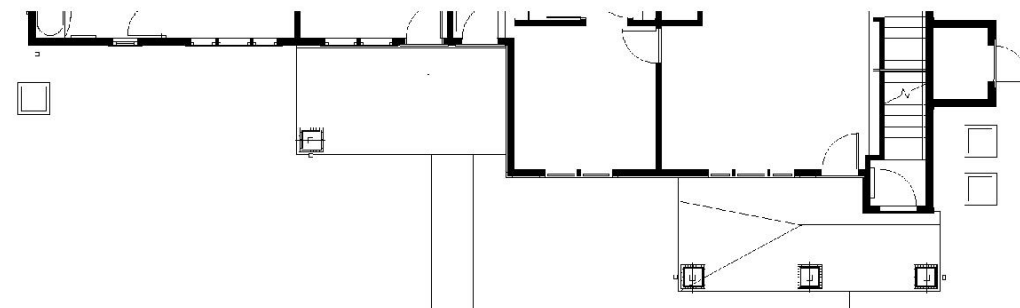
31'-5"

**ROOF**  
ASPHALT SHINGLES  
OXFORD GREY

**COLUMNS**  
COUNTRY RUBBLE  
ANTIQUE CREAM

**Left Elevation**

SCALE: 1/16"=1'-0" xdbw-1



2-Story  
Building  
**BUILDING B20**  
05-12-2023





2-Story Building Rendering





**Front Elevation**

SCALE: 3/32"=1'0" 1800x1

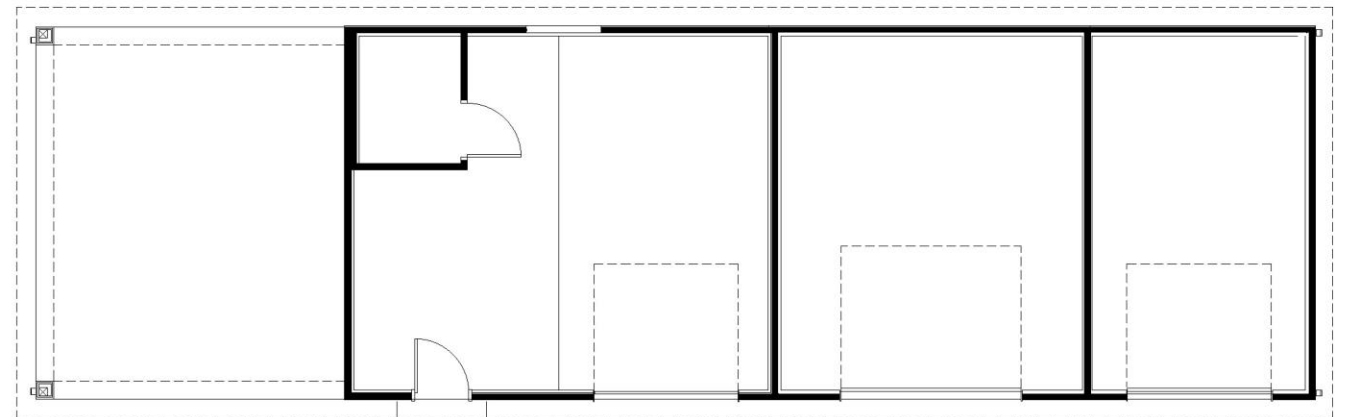


**Left Elevation**

SCALE: 3/32"=1'0" 1800x1

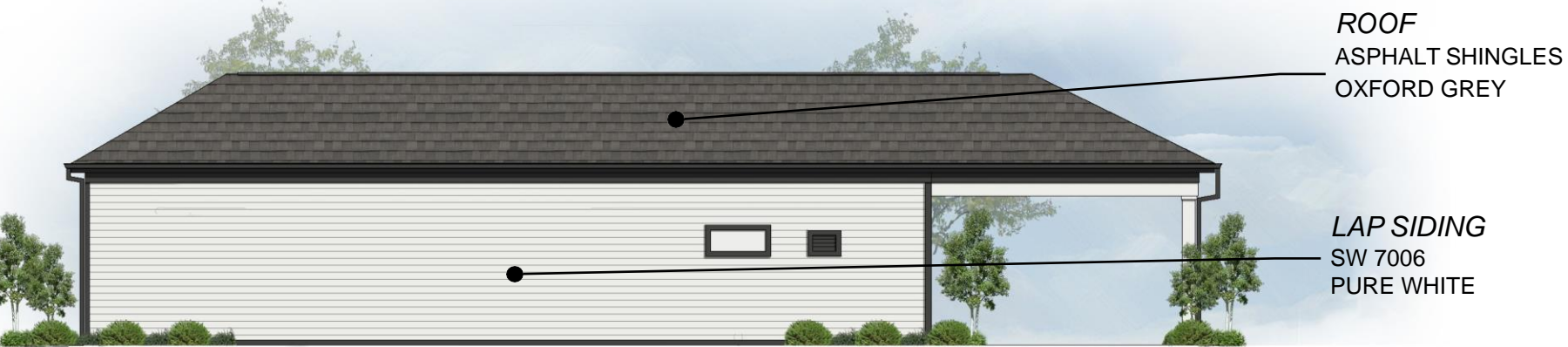
**Right Elevation**

SCALE: 3/32"=1'0" 1800x1



**Floor Plan Elevation**

SCALE: 3/32"=1'0" 1800x1



**Rear Elevation**

SCALE: 3/32"=1'0" 1800x1

**MAINTENANCE BUILDING**



**Front Elevation**

SCALE: 3/32"=10' sheet 1

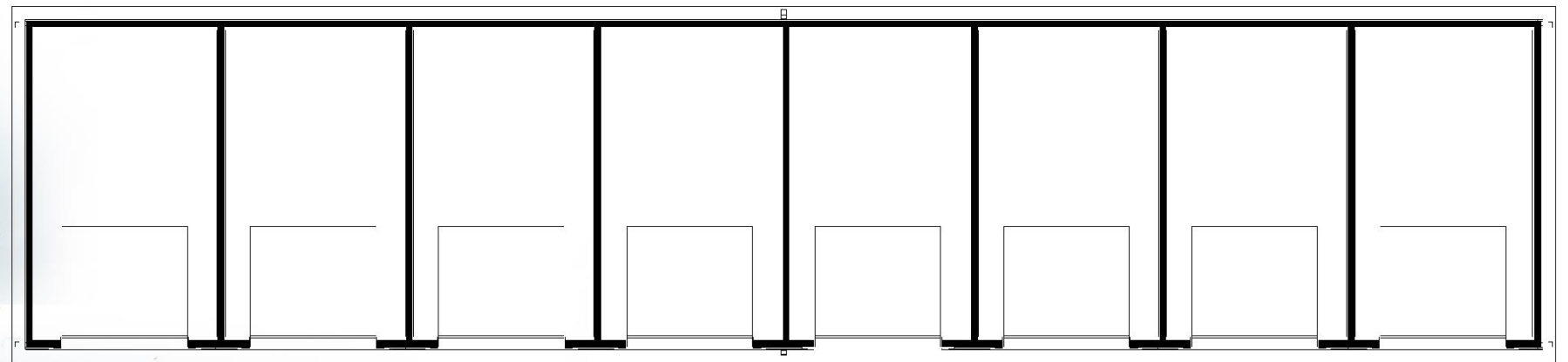


**Left Elevation**

SCALE: 3/32"=10' sheet 1

**Right Elevation**

SCALE: 3/32"=10' sheet 1



**Floor Plan Elevation**

SCALE: 3/32"=10' sheet 1



**Rear Elevation**

SCALE: 3/32"=10' sheet 1

ROOF  
ASPHALT SHINGLES  
OXFORD GREY

**8 BAY GARAGE**

06-26-2023



10'-7"



**Front Elevation**

SCALE: 3/32"=10' 1/8"=1"

**Right Elevation**

SCALE: 3/32"=10' 1/8"=1"

*TRIM*  
SW 7069  
IRON ORE

*ROOF*  
ASPHALT SHINGLES  
OXFORD GREY



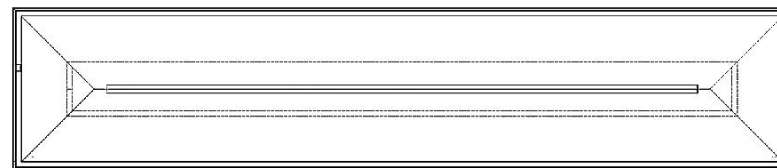
**Rear Elevation**

SCALE: 3/32"=10' 1/8"=1"

**Left Elevation**

SCALE: 3/32"=10' 1/8"=1"

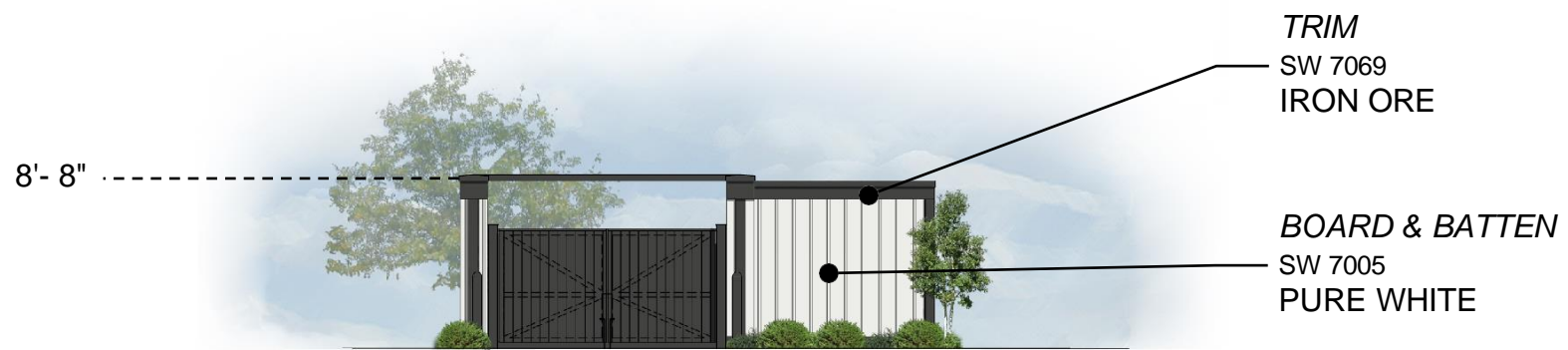
*BORED & BATTEN*  
SW 7006  
PURE WHITE



**Floor Plan**

SCALE: 3/32"=10' 1/8"=1"

**MAIL KIOSK**  
06-26-2023



**Front Elevation**

SCALE: 3/32"=10' 1/8"=1

**DOOR**

SW 7069  
IRON ORE



**Left Elevation**

SCALE: 3/32"=10' 1/8"=1

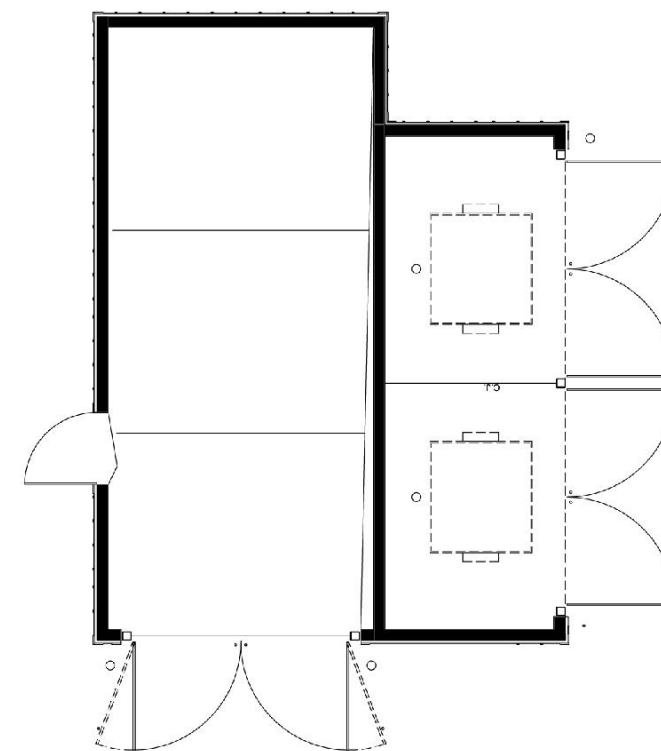
**Right Elevation**

SCALE: 3/32"=10' 1/8"=1



**Rear Elevation**

SCALE: 3/32"=10' 1/8"=1



**Floor Plan**

SCALE: 3/32"=10' 1/8"=1

TRASH (CONDENSED)



## Community Development Department

P. O. Box 900  
Locust Grove, Georgia 30248  
Phone: (770) 957-5043  
Facsimile (770) 954-1223

# Item Coversheet

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**Item:** Resolution approving the architectural plans submitted for a dual-branded Townplace/Springhill Suites hotel to be located on Bandy Parkway.

**Action Item:**  Yes  No

**Public Hearing Item:**  Yes  No

**Executive Session Item:**  Yes  No

**Advertised Date:** NA

**Budget Item:** No

**Date Received:** August 9, 2023

**Workshop Date:** August 21, 2023

**Regular Meeting Date:** September 5, 2023

### Discussion:

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Forsyth Hospitality of John's Creek, GA has submitted building elevation renderings for a proposed dual-branded Townplace/Springhill Suites to be located on Bandy Parkway.

As part of the requirements for building permits for new structures or major renovations, it is necessary for the Mayor and City Council, acting in their capacity as the Architectural Review Board, to review the proposed building exterior elevations for comment and approval.

The proposed 4-story hotel building exterior is comprised of EIFS, cement fiberboard, stone-look cladding, architectural metal paneling, granite accents, and other materials consistent with the hotel branding.

Chapter 15.44 Architectural Review

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15.44.050 - Exterior materials standards.

A. Except where otherwise provided in this chapter or in the Code of Ordinances, the exterior architectural features of buildings and structures within multifamily, office/institutional, commercial, and industrial zoning districts shall adhere to the following minimum standards:

1. All primary/accent exterior siding materials shall be limited to:

Primary: Four sides majority brick on all commercially zoned projects, with remaining façades consisting of natural stone including granite, marble, sandstone, field stone, or any other natural stone approved by the Architectural Review Board. Structures located in areas having a historic designation shall maintain acceptable architectural character of the respective area. "Tilt-up" concrete shall be permitted as a primary exterior siding material for buildings in industrial zoning districts or acceptable substitute as approved by the Architectural Review Board.

Accent: Clay tile with baked-on enamel finish; architecturally treated decorative concrete block; architecturally treated slabs or block either fluted or with exposed aggregate; stucco; EFIS; masonry siding such as cement fiberboard siding ("hardiplank"), wood; or acceptable substitute approved by the board. "Tilt-up" concrete shall be permitted as a primary exterior siding material for buildings in industrial zoning districts or acceptable substitute as approved by the board.

2. All exterior siding material such as aluminum, steel, vinyl, mirrored or reflective glass, cinderblock, unfinished concrete, fiberglass or plastic are prohibited except that architectural fiberglass or plastic can be used to such extent that such material is used as detailing and decorative trim if approved by the board.
3. Fifty percent of the width of the front facade of the building shall consist of fenestration. All fenestration comprised of glass shall be multi-paned in appearance. Single-paned plate glass windows greater than six square feet in surface area without the appearance of being multi-paned shall be prohibited unless approved by the board.
4. All exterior painted surfaces, where visible from the public street shall be painted in earth tones. Colors shall be non-primary colors including darker and cooler shades of green, red, such as brick, yellow including beige, and lighter shades of brown including tan. However, white may be permitted if approved by the board. Corporate graphics, trademarks, corporate logos, corporate service marks and corporate branding items may be permitted by the board to the extent used for decorative trim or for signage as part of the overall exterior features.
5. Roofs on multifamily and commercial or office buildings shall generally consist of a pitch of 7/12 or greater with exception of porches and porticos and be comprised of asphalt, cedar shake, cement tile material. Standing seam metal roofing shall be allowed as approved by the board. Flat roofs shall be permitted in larger commercial and industrial zoning where rooftop equipment is screened from view by raised parapet walls and shall be consistently flat across the building length with exception of features of fenestration to break up building mass and long, monotonous facades. Flat roofs may be permitted on larger multifamily and office buildings as approved by the board.



6. Burglar bars and steel roll down doors or curtains shall not be visible from the public street, with exception to buildings in industrial zoning districts as approved by the board.
  7. Service bays shall be designed so that the openings of service bays are not visible from a public street (i.e., side entry), with exception to buildings in industrial zoning districts as approved by the board.
  8. Fabric and canvas awnings and all other building materials must be of durable quality and shall be compatible with materials used in adjoining buildings.
  9. All exterior building elevations that face public streets and/or customer parking areas shall be designed so that there are no large expanses of blank walls. This requirement can be met by employing the use of architectural features including, but not limited to, the following: Doors, windows, pilasters, columns, horizontal and vertical offsets, material and color variations, decorative cornices, awnings, canopies, murals, and graphics.
- B. Additional requirements. Properties with material changes of structures lying within the historic preservation district overlay shall abide by the certificate of appropriateness process for the historic preservation district and follow the design guidelines as promulgated by the historic preservation commission. Properties within the Gateway Town Center and/or the Locust Grove Town Center LCI area shall abide by the applicable design guidelines in addition to this chapter.
- C. The exterior architectural features of buildings and structures within the office/institutional and commercial zoning classifications shall adhere to the following additional requirement:  
Front facades and any exterior sides facing public streets shall consist of a minimum of seventy percent of brick or natural or manufactured stone or a combination thereof, except where a building over three stories in height and/or greater than twenty thousand square feet in total building area may reduce this requirement as approved by the board where the structure provides adequate fenestration and design features or where a building is designed under LEED Silver, Gold, or Green standards.

**Recommendation:**

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**STAFF RECOMMENDS APPROVAL OF THE ARCHITECTURAL BUILDING ELEVATIONS SUBMITTED BY FORSYTH HOSPITALITY FOR A DUAL-BRANDED HOTEL TO BE LOCATED ON BANDY PARKWAY.**

RESOLUTION NO. \_\_\_\_\_

**A RESOLUTION TO APPROVE ARCHITECTURAL PLANS FOR A DUAL-BRANDED TOWNEPLACE AND SPRINGHILL SUITES HOTEL TO BE LOCATED ON BANDY PARKWAY IN ACCORDANCE WITH CHAPTER 15.44 OF THE LOCUST GROVE CITY CODE; TO AUTHORIZE THE MAYOR AND CITY CLERK TO EXECUTE ANY DOCUMENTS NECESSARY TO CARRY OUT THIS RESOLUTION; TO REPEAL INCONSISTENT PROVISIONS; TO PROVIDE AN EFFECTIVE DATE; AND FOR OTHER PURPOSES**

**W I T N E S S E T H :**

**WHEREAS**, the City of Locust Grove, Georgia (“City”) adopted Chapter 15.44 (“Chapter”) entitled “Architectural Review”, and;

**WHEREAS**, the purpose of the Chapter is to regulate the aesthetics, quality of exterior building materials and to the promotion of health, safety, prosperity and general welfare of the citizens of Locust Grove, and;

**WHEREAS**, the Mayor and City Council consist of the Architectural Review Board for the City of Locust Grove (“Board”) per Section 15.44.040, and;

**WHEREAS**, Forsyth Hospitality of John’s Creek, GA submitted building elevation renderings for a proposed dual-branded hotel to be located on Bandy Parkway attached hereto and made part thereof as **Exhibit “A”**, and;

**WHEREAS**, the Board may review and make comment on architectural plans and issue approval per Chapter 15.44 (“Chapter”) of the Code of Ordinances for the City of Locust Grove, and;

**WHEREAS**, the Board in the exercise of their sound judgment and discretion, after giving thorough thought to all implications involved, and keeping in mind the public interest and welfare to the citizens of the City, have determined this request for architectural review to be in the best interests of the citizens of the City, that this Resolution be adopted.

**THEREFORE, IT IS NOW RESOLVED BY THE ARCHITECTURAL REVIEW BOARD OF THE CITY OF LOCUST GROVE, GEORGIA, AS FOLLOWS:**

1. **Finding.** That the Locust Grove Architectural Review Board hereby finds that the Plans submitted by Forsyth Hospitality appear to meet the requirements of Chapter 15.44 of City of Locust Grove Code.
2. **Conditions.** That the Locust Grove Architectural Review Board finding in Item 1 above is subject to the following conditions:
  - a. Final Colors. That final colors and type of materials be reviewed and approved by

the Community Development Director to meet all requirements of Chapter 15.44 of City of Locust Grove Code as “earth tone” in nature.

- b. Material Changes. That any material deviations in exterior architectural features, materials, or colors as depicted in the plans in **Exhibit “A”** require review and approval by the Architectural Review Board.
  - c. Extension of Approved Plans. That the approval granted herein may be in effect for a period not to exceed eighteen (18) months from the approval date of this Resolution.
3. **Public Purpose**. The Board finds that the foregoing actions constitute a major stem in preserving the health, safety, well-being and economic vitality of the community and are, therefore, consistent with its public purposes and powers.
  4. **Authority**. That the Board hereby authorizes the City Clerk to affix a stamp of the date of approval on the revised architectural plans in accordance with Section 15.44.060 J, to affix the City Seal if necessary, to carry out this Resolution, and to place this Resolution and any related documents among the official records of the City for future reference.
  5. **Severability**. To extent any portion of this Resolution is declared to be invalid, unenforceable, or nonbinding, that shall not affect the remaining portions of this Resolution.
  6. **Repeal of Conflicting Provisions**. All Board resolutions are hereby repealed to the extent they are inconsistent with this Resolution.
  7. **Effective Date**. This Resolution shall take effect immediately.

THIS RESOLUTION adopted this 5<sup>th</sup> day of September, 2023.

---

ROBERT S. PRICE, Mayor

ATTEST:

---

MISTY SPURLING, City Clerk

(Seal)

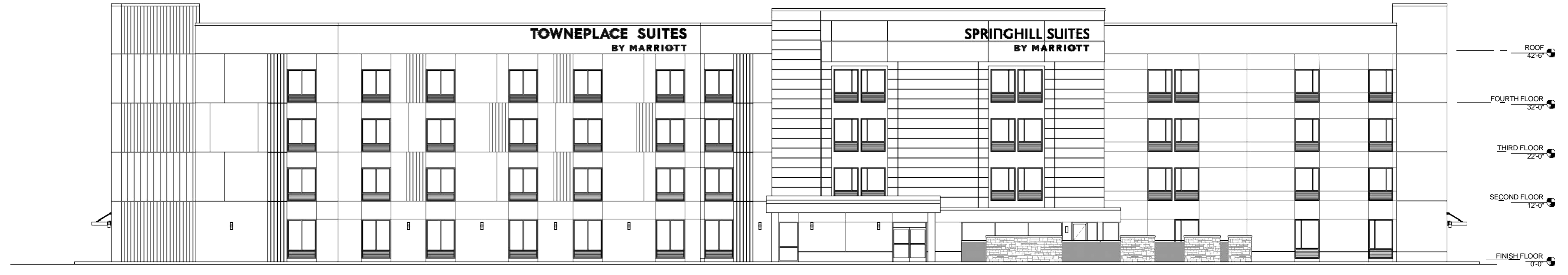
APPROVED AS TO FORM:

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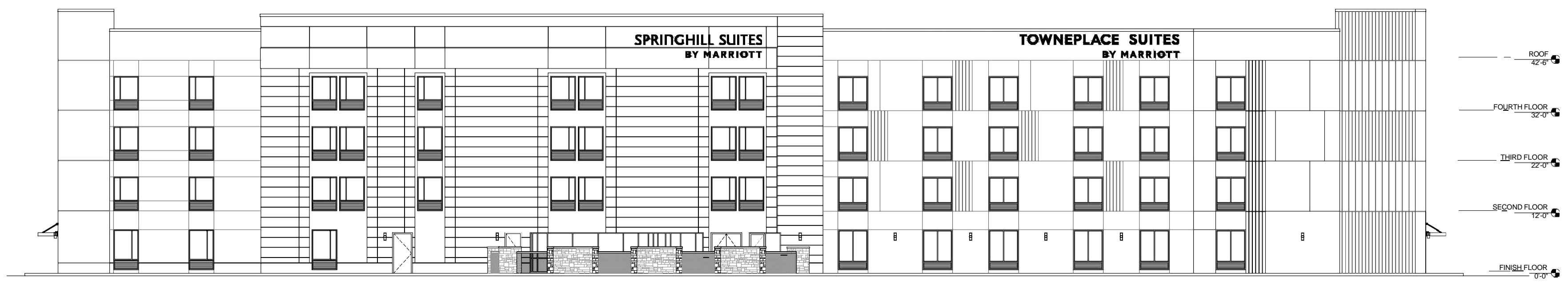
City Attorney

**EXHIBIT "A"**

THIS DRAWING IS THE PROPERTY OF  
BRANNEN PARK ARCHITECT, LLC. IT IS TO BE  
USED ONLY FOR THE PROJECT AND SITE  
SPECIFICALLY IDENTIFIED HEREIN, AND IS  
NOT TO BE USED ON OTHER PROJECTS OR  
EXTENSIONS TO THIS PROJECT, OR  
REPRODUCED IN WHOLE OR IN PART,  
EXCEPT BY AGREEMENT IN WRITING AND  
WITH APPROPRIATE COMPENSATION.



EXTERIOR ELEVATION- FRONT SCALE 3/32" = 1'-0" 1



EXTERIOR ELEVATION- REAR SCALE 3/32" = 1'-0" 2

ISSUE	DATE	DESCRIPTION

SHEET TITLE  
EXTERIOR  
ELEVATIONS

JOB NUMBER  
23-M-01

DATE  
08-04-2023

SHEET NUMBER

**EL-01**

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ISSUE	BY	DATE	DESCRIPTION

SHEET TITLE  
EXTERIOR  
ELEVATIONS

JOB NUMBER  
23-M-01

DATE  
08-04-2023

SHEET NUMBER

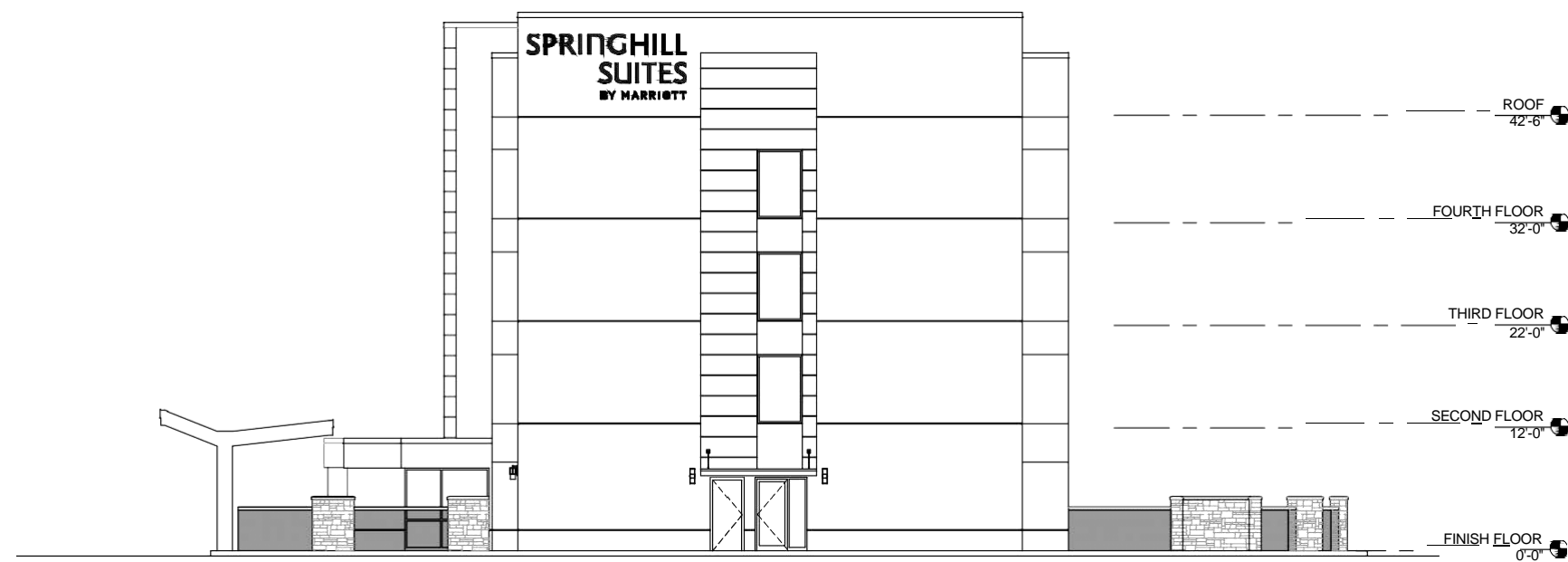
**EL-02**



EXTERIOR ELEVATION- SIDE

SCALE  
3/32" = 1'-0"

**1**



EXTERIOR ELEVATION- SIDE

SCALE  
3/32" = 1'-0"

**2**



THIS DRAWING IS THE PROPERTY OF BRANNEN PARK ARCHITECT, LLC. IT IS TO BE USED ONLY FOR THE PROJECT AND SITE SPECIFICALLY IDENTIFIED HEREIN, AND IS NOT TO BE USED ON OTHER PROJECTS OR EXTENSIONS TO THIS PROJECT, OR REPRODUCED IN WHOLE OR IN PART, EXCEPT BY AGREEMENT IN WRITING AND WITH APPROPRIATE COMPENSATION.



EXTERIOR ELEVATION- FRONT SCALE 3/32"= 1'-0" 1



EXTERIOR ELEVATION- REAR SCALE 3/32"= 1'-0" 2

ISSUE/REV	DATE	DESCRIPTION

SHEET TITLE	RENDERED EXTERIOR ELEVATIONS
JOB NUMBER	23-M-01
DATE	08-04-2023
SHEET NUMBER	EL-03

SEAL  
 SCHEMATIC  
 DESIGN SET  
 NOT FOR  
 CONSTRUCTION

**BRANNEN PARK ARCHITECT, LLC**  
 153 Gateway Drive, Suite A  
 Macon, Georgia 31210  
 Phone - 478-972-9329  
 park.brannen@gmail.com

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 EXCEPT BY AGREEMENT IN WRITING AND  
 WITH APPROPRIATE COMPENSATION.

**TOWNPLACE/ SPRINGHILL  
 BY MARRIOTT**  
 LOCUST GROVE, GEORGIA

ISSUE/ BY	DATE	DESCRIPTION

SHEET TITLE <b>RENDERED    EXTERIOR    ELEVATIONS</b>
JOB NUMBER 23-M-01
DATE 08-04-2023
SHEET NUMBER <b>EL-04</b>

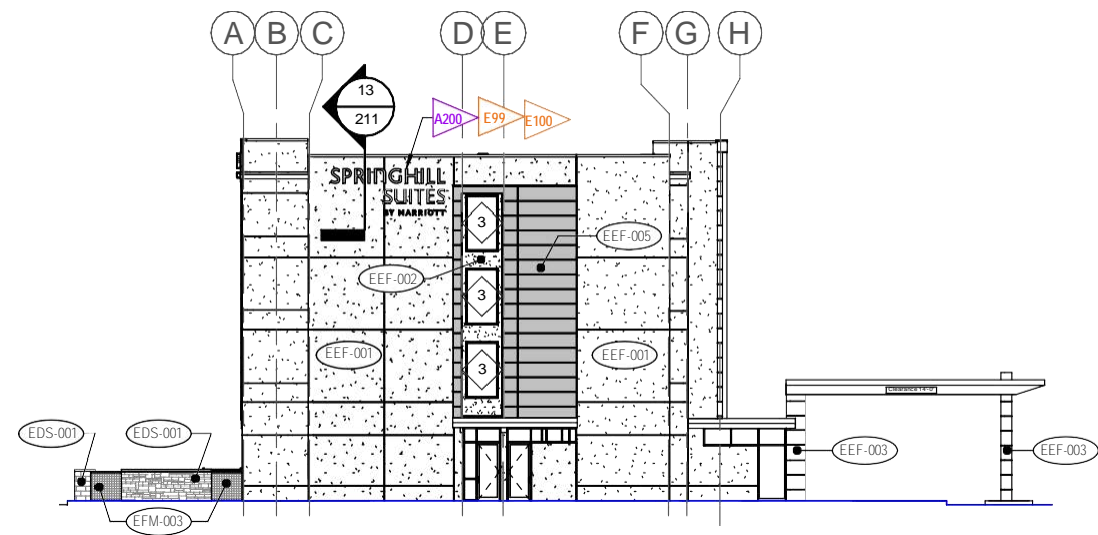


EXTERIOR ELEVATION- SIDE SCALE 3/32"= 1'-0" **2**

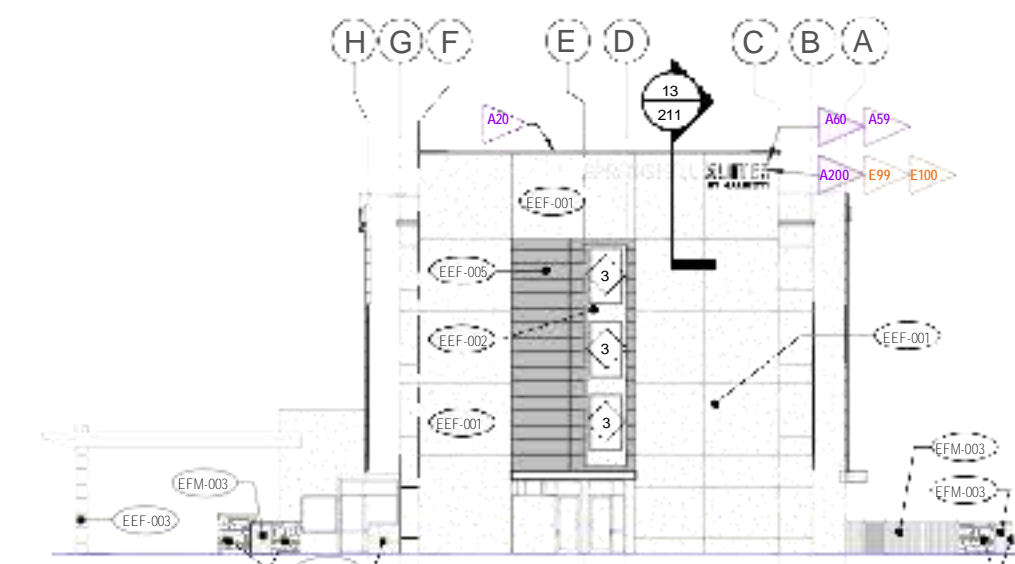


EXTERIOR ELEVATION- SIDE SCALE 3/32"= 1'-0" **1**

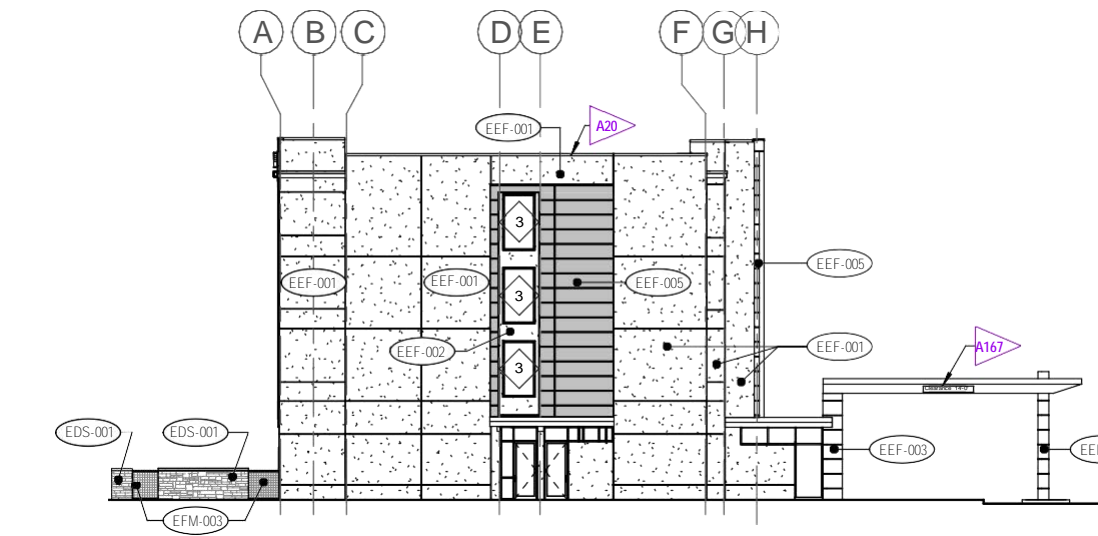




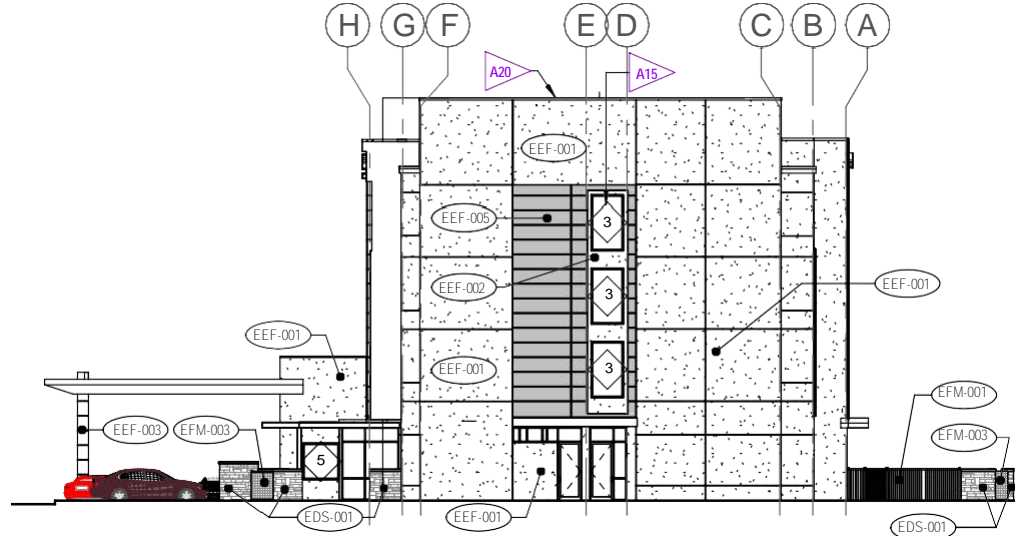
**12 LEFT ELEVATION OPTIONAL SIGNAGE**  
SCALE: 1/16" = 1'-0"



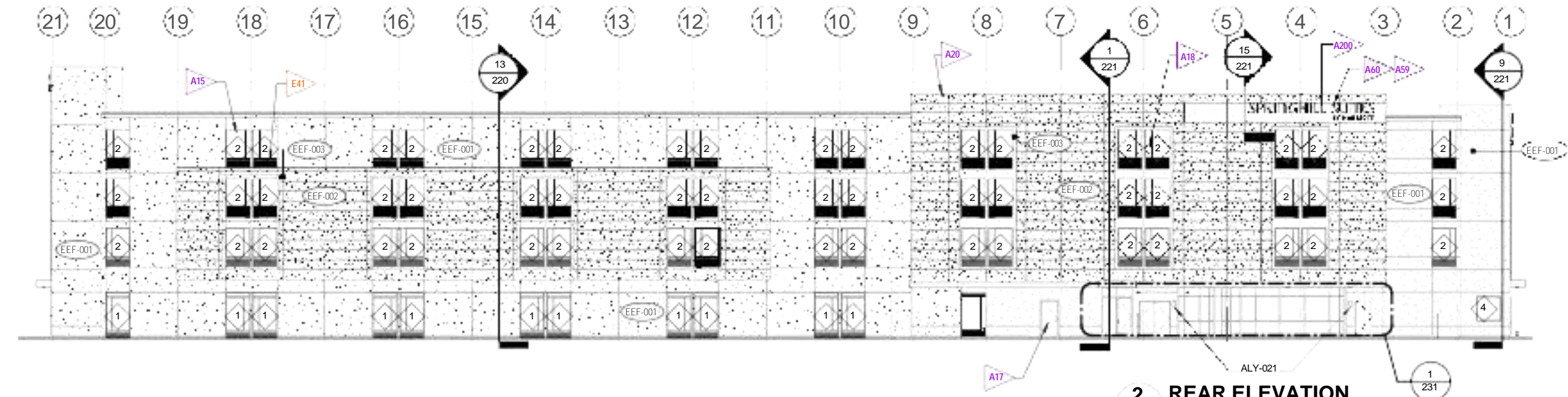
**4 RIGHT ELEVATION OPTIONAL SIGNAGE**  
SCALE: 1/16" = 1'-0"



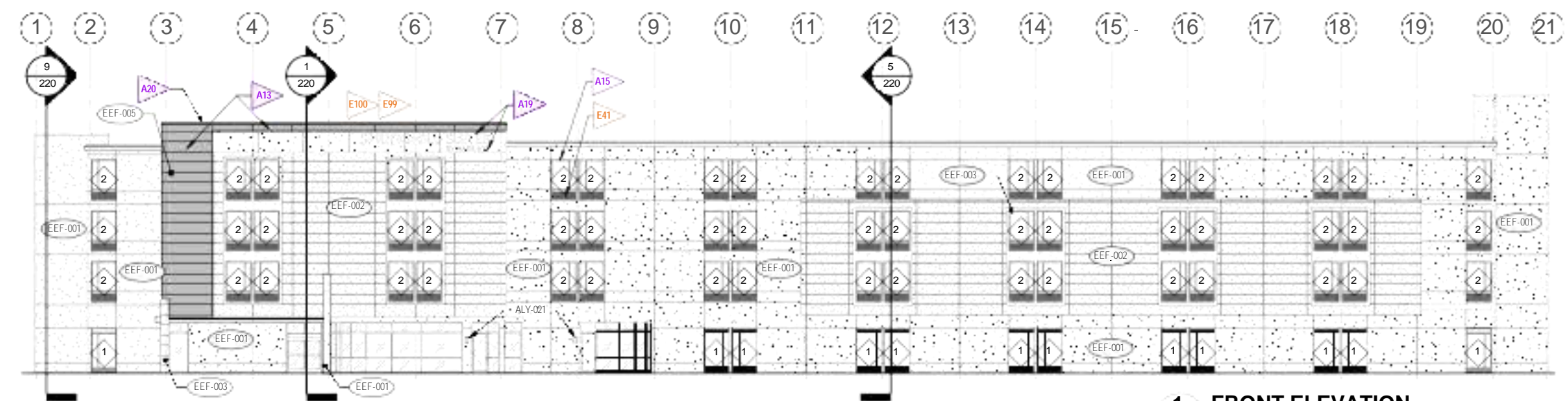
**11 LEFT ELEVATION**  
SCALE: 1/16" = 1'-0" referenced from: 200



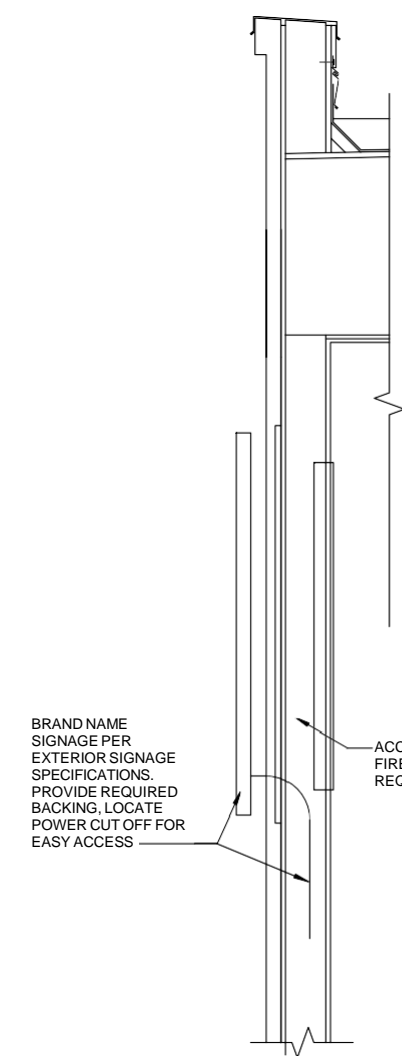
**3 RIGHT ELEVATION**  
SCALE: 1/16" = 1'-0" referenced from: 200



**2 REAR ELEVATION**  
SCALE: 1/16" = 1'-0" referenced from: 200



**1 FRONT ELEVATION**  
SCALE: 1/16" = 1'-0" referenced from: 200



**13 SIGNAGE OPTION - SECTION**  
SCALE: 3/4" = 1'-0"

**REFERENCE NOTES**

A. REFER TO DESIGN STANDARDS, "SITE & BUILDING EXTERIOR" CHAPTER FOR MAIN REQUIREMENTS RELATED TO THIS SHEET. ARCHITECT IS RESPONSIBLE FOR DESIGNING PROJECT IN ACCORDANCE WITH THE ENTIRE DESIGN STANDARDS.

These design guidelines and all materials, procedures, systems and content herein contained or depicted (the "Design Guidelines") have been prepared for and/or developed by Marriott International, Inc. or its affiliate ("Marriott"), and are the sole and exclusive property of Marriott, which owns all right, title and interest therein, including all copyright, and which reserves all rights herein. All contents should be used only as authorized by Marriott and should not be copied either in whole or in part without its written consent.

**GENERAL NOTES**

- A. BUILDING ELEVATIONS ARE APPROXIMATE AND WILL VARY BASED UPON STRUCTURAL SYSTEM.
- B. REFER TO BUILDING SITE + EXTERIOR BPM FOR MATERIALS AND COLORS.
- C. E.I.F.S. COLORS SHALL BE INTEGRAL IN THE FINISH AND PENETRATIONS TO MATCH ADJACENT ROOF MATERIAL.
- D. PAINT ALL ROOFTOP MOUNTED DEVICES AND PENETRATIONS TO MATCH ADJACENT ROOF MATERIAL.
- E. PROVIDE INTERNAL DOWNSPOUTS, GUTTERS, ROOF DRAINS, AND OVERFLOWS AS REQUIRED FOR LOCAL RAINFALL. PROVIDE SECONDARY OVERFLOWS TO DAYLIGHT IN AREAS THAT WILL NOT DRAIN ACROSS WALKING SURFACES.
- F. IF EQUIPMENT IS LOCATED ON THE ROOF, SCREEN EQUIPMENT SO THAT IT IS NOT VISABLE TO THE GUEST AT GRADE LEVEL.

SPRINGHILL SUITES BY MARRIOTT  
Marriott International Inc.  
10400 Fernwood Road  
Bethesda, MD 20817  
(301) 380-3000

**CRITERIA NOTES**

CRITERIA NOTES ARE SHOWN CATEGORIZED BY DISCIPLINE AND COULD BE INTERPRETED TO APPLY TO MORE THAN ONE DISCIPLINE. FOR EFFICIENCY, NOTES ARE ONLY SHOWN UNDER ONE PREDOMINANT DISCIPLINE. CONSULTANTS SHOULD FAMILIARIZE THEMSELVES WITH ALL CRITERIA NOTES.

**AD - ARCHITECTURAL**

- A13 EIFS FACADE BUILD OUT
- A15 PREFINISHED ALUMINUM WINDOW AS SCHEDULED
- A17 PAINTED H.M. DOOR AND FRAME
- A18 METAL PANEL, TRIM AREA - COLOR AND TEXTURE TO MATCH ADJACENT WINDOW
- A19 BACKLITTED, THERMO-PLASTIC SPRINGHILL SIGN RECESSED IN EIFS FACE AND WRAPS END OF BUILDING FACE. MARRIOTT SIGN TO BE SURFACE MTD CHANNEL LETTERS. SEE SIGNAGE PACKAGE. SIGN LETTERS ARE TO BE THE BRAND COLOR BY DAY, WHITE AT NIGHT (DUAL-COLOR FILM). WHERE THE BUILDING COLOR IS MEDIUM TO DARK TONED, WHITE FACE LETTERS BY DAY & NIGHT SHOULD BE USED
- A20 PROVIDE METAL COPING CAP AT PARAPETS
- A59 OPTIONAL HOTEL SIGNAGE PACKAGE. PROVIDE REQUIRED BACKING. LOCATE POWER CUTOFF FOR EASY ACCESS
- A60 OPTIONAL MARRIOTT SIGN TO BE SURFACE MOUNTED INTERNALLY ILLUMINATED CHANNEL LETTERS. SEE EXTERIOR SIGNAGE SPECIFICATIONS.
- A167 PROVIDE CLEARANCE SIGNAGE AT PORTE COCHERE. SEE SIGNAGE MANUAL.
- A200 PROVIDE ADEQUATE BLOCKING BEHIND WALL FOR SIGNAGE.

**ED - ENGINEERING**

- E41 PTAC LOUVERS FRAMED INTEGRAL WITH WINDOWS
- E99 PROVIDE ACCESS FOR MOUNTING ELECTRICAL COMPONENTS AND MAKING FINAL CONNECTIONS AT SIGN.
- E100 PROVIDE ADEQUATE DEDICATED CIRCUITRY BROUGHT TO SIGN LOCATION FROM ELEC. PANEL.

**EXTERIOR FINISH KEY**

	EIFS1
	EIFS2
	EIFS3
	EIFS5
	DECORATIVE PAVING
	DECORATIVE PAVING
	MANUFACTURED STONE MASONRY
	PATIO RAILING SYSTEM
	PATIO SCREEN WALL RAILING SYSTEM
	PATIO CANOPY TRELLIS SYSTEM

**SPRINGHILL SUITES BY MARRIOTT**

Design Guideline Drawings  
ISSUE DATE: 12/01/15  
REVISION DATE: 12/13/22  
GENERATION: GEN 4.5  
DECOR: PALETTES

**EXTERIOR ELEVATIONS**

211

NOT FOR CONSTRUCTION



REFERENCE NOTES

- A. REFER TO EITHER BRAND DESIGN STANDARDS 'SITE & BUILDING EXTERIOR' CHAPTER FOR MAIN REQUIREMENTS RELATED TO THIS SHEET. ARCHITECT IS RESPONSIBLE FOR DESIGNING PROJECT IN ACCORDANCE WITH THE ENTIRE DESIGN STANDARDS.
- B. REFER TO DUAL BRAND BUILDING SITE - EXTERIOR BUILDING PRODUCT MANUAL FOR MATERIALS AND COLORS, AND ALSO FOR TYPICAL FINISHES FOR EXTERIOR ELEMENTS SUCH AS TYPICAL LOUVER COLOR, DOOR FRAMES, ETC.
- C. REFER TO THE EXTERIOR SIGNAGE SPECIFICATIONS FOR BOTH BRANDS FOR REQUIREMENTS RELATED TO SIGNAGE SHOWN ON THIS SHEET.

SYMBOLS

- 21 DOOR TYPE
- S2 WINDOW OR STOREFRONT TYPE

GENERAL NOTES

- BUILDING ELEVATIONS ARE APPROXIMATE AND WILL VARY BASED ON STRUCTURAL SYSTEM.
- PROVIDE CONTRACTOR WITH COLOR PRINTS OF ELEVATIONS FOR ADDITIONAL CLARITY.
- CONTINUE FINISH TO INSIDE CORNER VERSUS FINISH TRANSITIONS AT OUTSIDE CORNER.
- ALL DOWNSPOUTS MUST HAVE CLEANOUTS.
- PROVIDE INTERNAL DOWNSPOUTS, GUTTERS, ROOF DRAINS AND OVERFLOWS AS REQUIRED FOR LOCAL RAINFALL. PROVIDE SECONDARY OVERFLOWS TO DAYLIGHT IN AREAS THAT WILL NOT DRAIN ACROSS WALKING SURFACES.
- IF EQUIPMENT IS LOCATED ON THE ROOF, SCREEN EQUIPMENT SO THAT IT IS NOT VISIBLE TO THE GUEST AT GRADE LEVEL.

CRITERIA NOTES

- CRITERIA NOTES ARE SHOWN CATEGORIZED BY DISCIPLINE AND COULD BE INTERPRETED TO APPLY TO MORE THAN ONE DISCIPLINE. FOR EFFICIENCY, NOTES ARE ONLY SHOWN UNDER ONE PREDOMINANT DISCIPLINE. CONSULTANTS SHOULD FAMILIARIZE THEMSELVES WITH ALL CRITERIA NOTES.
- ARCHITECTURE:**
- A1 TYPICAL GUESTROOM WINDOW AT GROUND FLOOR
  - A2 TYPICAL GUESTROOM WINDOW FOR UPPER FLOOR
  - A3 ALIGN AND COORDINATE REVEALS ALONG FACADE OF BUILDING. SEE ENLARGED DETAILS FOR DIMENSIONS.
  - A4 VERTICAL REVEALS IN EIFS. SEE DETAILS FOR SPACING
  - A5 SIDE ENTRY CANOPY, SIMILAR BOTH SIDES.
  - A6 WINDOW GLAZING TO RECEIVE FILM TO CREATE VISUAL SCREEN TO LAUNDRY ROOM AND OTHER BOH AREAS.

- A7 CHANNEL LETTER SIGNAGE AT FRONT AND REAR OF BUILDING. SEE EXTERIOR SIGNAGE SPECIFICATIONS FOR REQUIREMENTS.
- A8 PROVIDE ADEQUATE BLOCKING BEHIND WALL FOR SIGNAGE. PROVIDE ACCESS FOR MOUNTING ELECTRICAL COMPONENTS AND MAKING FINAL ELECTRICAL CONNECTIONS. PROVIDE ADEQUATE DEDICATED CIRCUITRY BROUGHT TO SIGN LOCATION FROM ELECTRICAL PANEL.
- A9 OPT 1 - PREFERRED LOCATION FOR OPTIONAL CHANNEL LETTER SIGNAGE ON SIDES OR ENDS OF BUILDING. LOCATE AS APPROPRIATE BASED ON BUILDING ORIENTATION. VERIFY PARAPET HEIGHT OR WALL CONSTRUCTION IN THE AREA SIGN TO BE INSTALLED WILL ALLOW FOR REAR ACCESS REQUIRED FOR CHANNEL LETTER INSTALLATION AND OPERATION.
- A10 OPT 2 - SECONDARY LOCATION FOR OPTIONAL SIGNAGE ON SIDES OR ENDS OF BUILDING (NOT SHOWN). LOCATE AS APPROPRIATE AND SEE NOTE ABOVE FOR WALL REQUIREMENTS FOR CHANNEL LETTER INSTALLATION.

- A11 PERGOLA AT REAR OUTDOOR PATIO. METAL HORIZONTAL MEMBERS TO BE WOOD LOOK WITH FINISH TO MATCH ENTRY CANOPY CEILING. 4" X 8" TUBE STEEL SUPPORTS TO HAVE FINISH COLOR TO EPT-01.
- A12 PREFINISHED METAL PARAPET AND OR GRAVEL STOP/FASCIA.
- A13 CANTILEVERED ENTRY CANOPY WITH UPLIGHTING AND WOOD-LOOK METAL PANEL CEILING FINISH. PREFINISHED ALUM TRIM PANELS. SEE ALSO WALL PROFILES FOR INFORMATION.
- A14 EXTERIOR FENCE AT POOL AND OUTDOOR PATIO. EMF-001: LOW MASONRY WALLS WITH EIFS FINISH. EEF-002 AND PREFINISHED METAL FENCE. SEE SITE DETAILS.
- A15 STONE-LOOK CLADDING AT JEWEL BOX EXTERIOR WALLS. TW-TBD. OWNER'S ARCHITECT/DESIGNER TO SELECT MATERIAL FOR THIS APPLICATION. REFER TO THE ARCHITECTUR SECTION OF THE DUAL PROTOTYPE IMPLEMENTATION GUIDE.
- A16 INSTALL EPW-001 EXTERIOR WALL PANELS USING SIZES TO AVOID VERTICAL JOINTS. VERTICAL JOINTS AT FRONT FACE TO ALIGN WITH EDGES OF WINDOWS BELOW. NO VERTICAL JOINTS TO OCCUR ELSEWHERE IN THESE PANELS.

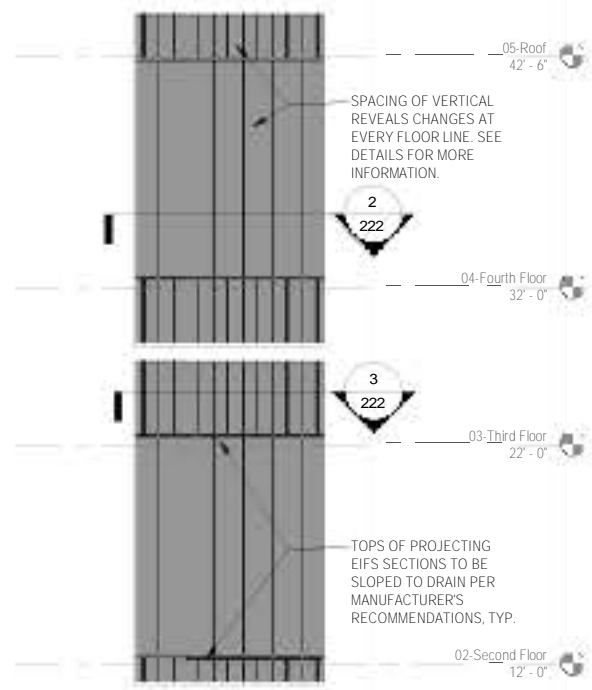
- ENGINEERING:**
- E1 PTAC LOUVER INTEGRAL WITH WINDOW FRAME. FINISH TO MATCH WINDOW FRAME.
  - E2 EXTERIOR LIGHT FIXTURE. MOUNTING HEIGHT TO BE COORDINATED WITH EXTERIOR FEATURES OR ELEMENTS. SEE ALSO SITE PLAN AND RCP.
  - E3 EXTERIOR VERTICAL ACCENT LIGHT IN COVE. SEE DETAIL. ACCENT LIGHTING TO BE CONTINUOUS FROM TOP OF ENTRY CANOPY TO SOFFIT ABOVE. PROVIDE QUANTITY OF FIXTURES AS REQUIRED FOR THIS LENGTH.

EXTERIOR FINISH LEGEND

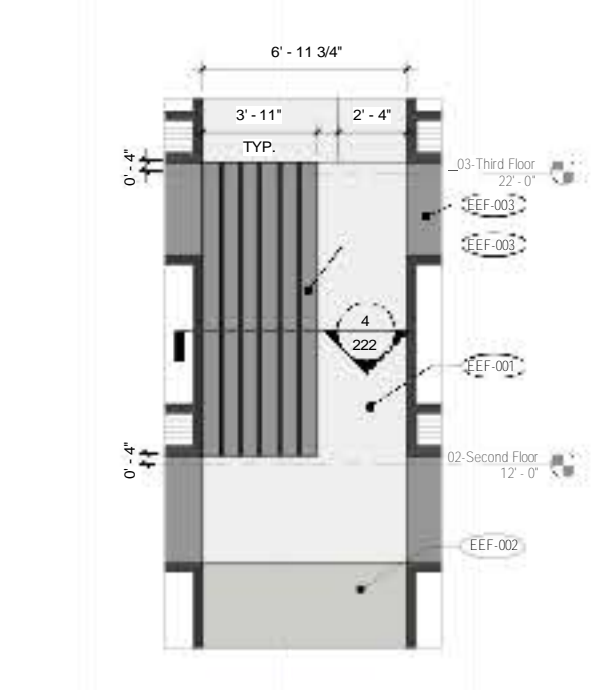
- SEE DUAL BRAND BUILDING SITE - EXTERIOR BUILDING PRODUCT MANUAL FOR MATERIAL AND COLOR SPECIFICATIONS
- EEF-001 EIFS 1 - MATCH COLOR BY SHERWIN-WILLIAMS SW7002 ALPACA
  - EEF-002 EIFS 2 - MATCH COLOR BY SHERWIN-WILLIAMS SW7655 STAMPED CONCRETE
  - EEF-003 EIFS 3 - MATCH COLOR BY SHERWIN-WILLIAMS SW 7069 IRON ORE
  - EWP-001 EXTERIOR ARCHITECTURAL CEMENT FIBERBOARD WALL PANEL
  - EWP-002 COLUMN WRAP BREAK METAL PANEL
  - EWP-003 METAL PANEL TRIM AT ENTRY CANOPY
  - EDS-001 GRANITE SILL AT JEWEL BOX BELOW STOREFRONT, COLOR: ABSOLUTE BLACK, POLISHED
  - TW-TBD EXTERIOR STONE LOOK CLADDING AT JEWEL BOX TO BE SELECTED BY OWNER'S ARCHITECT/DESIGNER PER IMPLEMENTATION GUIDE
  - EMF-001 PREFINISHED METAL FENCE AT EXTERIOR OUTDOOR AREAS, COLOR: BLACK
  - ECT-001 EXTERIOR PAINT AT HM DOORS AND FRAMES, COLOR: SHERWIN-WILLIAMS SW 7069 IRON ORE
  - CP-001 WOOD LOOK METAL CEILING PANEL
  - ERF-002 ALUMINUM COPING AT PARAPETS, COLOR: BLACK
  - ERF-003 ALUMINUM GRAVEL STOPS/FASCIA AT PARAPETS, COLOR: BLACK

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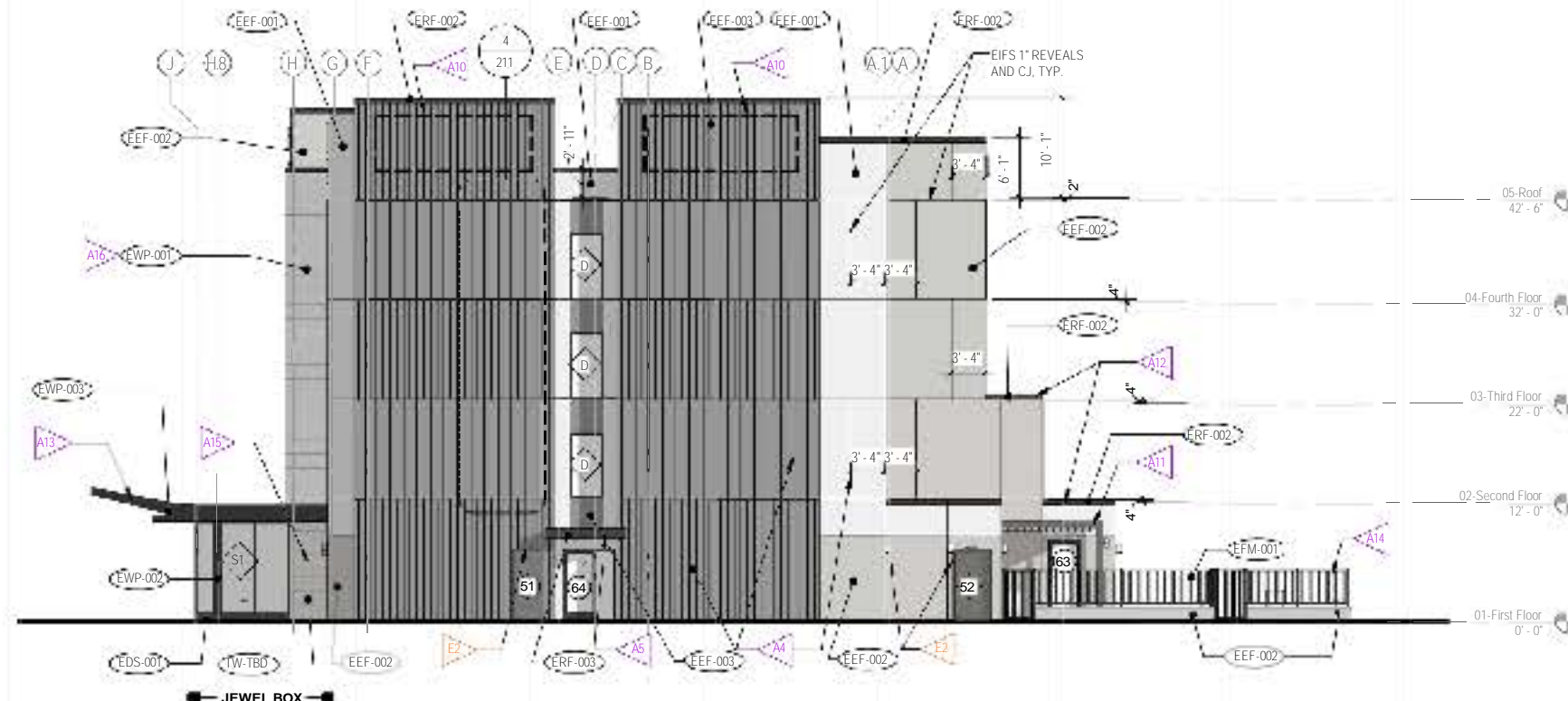
FAIRFIELD INN & SUITES and TOWNEPLACE SUITES by MARRIOTT  
Bethesda, MD 20817  
(301) 380-3000



**4 ELEVATION DETAIL @ END TOWERS**  
SCALE: 3/16" = 1'-0" Referenced from 211



**3 ELEVATION DETAIL @ RIBBED EIFS PANEL**  
SCALE: 1/4" = 1'-0" Referenced from 211



**2 SIDE ELEVATION - EAST**  
SCALE: 3/32" = 1'-0"



**1 FRONT ELEVATION - SOUTH**  
SCALE: 3/32" = 1'-0"

**TOWNEPLACE SUITES<sup>SM</sup> BY MARRIOTT**  
**Fairfield<sup>SM</sup> BY MARRIOTT**

DUAL PROTOTYPE  
FAIRFIELD INN and TOWNEPLACE SUITES by MARRIOTT  
Design Guideline Drawings  
ISSUE DATE: 06-24-2021  
REVISION DATE:  
GENERATION: 1.0 - 137 UNITS  
DECOR: Modern Calm & Real Living

EXTERIOR ELEVATIONS

**211**  
NOT FOR CONSTRUCTION  
FILE NAME: 02-TF-G1-211\*Ext Elevs



**Administration Department**

P. O. Box 900  
Locust Grove, Georgia 30248

Phone: (770) 957-5043  
Facsimile: (866) 364-0996

**Item Coversheet**

---

**Item: Ordinance to amend the FY 23 Operating and Capital Improvements Budget for the Half-Year of 2023**

**Action Item:**  Yes  No

**Public Hearing Item:**  Yes  No

**Executive Session Item:**  Yes  No

**Advertised Date:** N/A

**Budget Item:** Yes, most of all funds.

**Date Received:** August 16, 2023

**Workshop Date:** August 21, 2023 (Discussion – City Manager)

**Regular Meeting Date:** Tuesday, September 5, 2023 - Action

**Discussion:**

---

Attached is the Ordinance for the first half of the operations FY 23 Budget Year. Most of the changes consider recent capital items purchases from the retreat and some timing of projects between now and the fiscal year end, along with some changes in revenues and expenditures throughout most funds. Other than some final tweaks on some capital projects, the revision looks inline as we start the final preparation for Calendar Year 2024 Budget drafts where we will need to seek additional sources for funds given our continued growth and needs from the residents of the community.

**Recommendation:**

---

**APPROVE ORDINANCE TO REVISE THE OPERATING AND CAPITAL IMPROVEMENTS BUDGET OF THE CITY OF LOCUST GROVE FOR THE FIRST HALF OF THE 2023 FISCAL YEAR**

ORDINANCE NO. \_\_\_\_\_

**TO REVISE THE OPERATING AND CAPITAL IMPROVEMENTS BUDGET OF THE CITY OF LOCUST GROVE FOR THE FIRST HALF OF THE 2023 FISCAL YEAR PURSUANT TO SECTIONS 6.35 AND 6.36 OF THE CITY CHARTER; TO PROVIDE FOR ADDITIONAL UNAPPROPRIATED FUNDS FOR CERTAIN OPERATING EXPENDITURES; TO AUTHORIZE THE CITY MANAGER AND CITY CLERK TO CARRY OUT ALL NECESSARY PROCEDURES TO MAKE ALL AMENDMENTS TO THE BUDGET AND OPERATE FINANCIAL OPERATIONS IN ACCORDANCE WITH THE CODE OF ORDINANCES OF THE CITY OF LOCUST GROVE; TO PROVIDE SEVERABILITY; TO REPEAL CONFLICTING ORDINANCES; TO PROVIDE AN EFFECTIVE DATE; AND FOR OTHER PURPOSES**

**THE COUNCIL OF THE CITY OF LOCUST GROVE HEREBY ORDAINS**

**SECTION 1. Amendment of Appropriations of the Fiscal Year 2023 General Funds Budget, Hotel/Motel Fund, SPLOST, T-SPLOST, Water and Sewer Fund Budget, Sanitation Fund, and Stormwater Fund Budget.** That certain General Fund appropriation accounts are **INCREASED** a net of **\$382,000.00**; that certain SPLOST IV/V Fund appropriation accounts are **DECREASED** a net of **\$120,000.00**; that certain T-SPLOST Fund appropriation accounts are **INCREASED** a net of **\$465,000.00**; that certain Development Impact Fee Fund appropriation accounts are **INCREASED** a net of **\$78,500.00**; that certain Water and Sewer Fund appropriation accounts are **DECREASED** a net of **\$648,001.00**; **AND** that certain Sanitation Fund appropriation accounts are **INCREASED** a net of **\$48,500.00** as shown in **Exhibit “A”**.

**SECTION 2. Amendment of the Fiscal Year 2023 Budget and Capital Improvements Budget.** Pursuant to Section 6.35 and 6.36 of the City Charter, the Mayor and Council hereby amends the Operating and Capital Improvements Budget of the City of Locust Grove, Georgia for the 2023 Fiscal Year, which begins January 1, 2023, and ends on December 31, 2023, as attached hereto, and incorporated herein at **Exhibit “A”**.

**SECTION 3. Statement of Legal Level of Control.** That the “legal level of control” as defined in O.C.G.A. 36-81-3 is set at the departmental level, meaning that the City Manager in his capacity as Budget Officer is authorized to move appropriations from one line item to another within a department, but under no circumstances may expenditures or expenses exceed the amount appropriated for a department without a further Budget amendment approved by the Mayor and City Council.

**SECTION 4. Statement of Lapse on All Appropriations.** That all appropriations shall lapse at the end of the fiscal year.

**SECTION 5. Authorization of City Manager and City Clerk.** The City Manager as Budget Officer and City Clerk are hereby authorized to install the necessary Budget Amendments and generate necessary adjustments to continue the financial operations of the City in accordance with the Code of Ordinances of the City of Locust Grove.

**SECTION 6. Severability.**



A. It is hereby declared to be the intention of the City Council that all sections, paragraphs, sentences, clauses, and phrases of this Ordinance are and were, upon their enactment, believed by the City Council to be fully valid, enforceable, and constitutional.

B. It is hereby declared to be the intention of the City Council that, to the greatest extent allowed by law, each and every section, paragraph, sentence, clause, or phrase of this Ordinance is severable from every other Section, paragraph, sentence, clause or phrase of this Ordinance. It is hereby further declared to be the intention of the City Council that, to the greatest extent allowed by law, no section, paragraph, sentence, clause, or phrase of this Ordinance is mutually dependent upon any other Section, paragraph, sentence, clause, or phrase of this Ordinance.

C. In the event that any section, paragraph, sentence, clause or phrase of this Ordinance shall, for any reason whatsoever, be declared invalid, unconstitutional or otherwise unenforceable by the valid judgment or decree of any court of competent jurisdiction, it is the express intent of the City Council that such invalidity, unconstitutionality or unenforceability shall, to the greatest extent allowed by law, not render invalid, unconstitutional or otherwise unenforceable any of the remaining sections, paragraphs, sentences, clauses, or phrases of the Ordinance and that, to the greatest extent allowed by law, all remaining Sections, paragraphs, sentences, clauses, or phrases of the Ordinance shall remain valid, constitutional, enforceable, and of full force and effect.

**SECTION 7. Repeal of Conflicting Provision.** Except as otherwise provided herein, all ordinances or parts of ordinances in conflict with this ordinance are hereby repealed.

**SECTION 8. Effective Date.** This ordinance shall become effective immediately upon its adoption by the Mayor and Council of the City of Locust Grove.

SO ORDAINED this 5<sup>th</sup> day of September, 2023

\_\_\_\_\_  
**ROBERT PRICE, Mayor**

**ATTEST:**

**APPROVED AS TO FORM:**

\_\_\_\_\_  
**MISTY SPURLING, City Clerk**  
(Seal)

\_\_\_\_\_  
**CITY ATTORNEY**

**EXHIBIT "A"**

**AMENDED FINAL OPERATING AND CAPITAL IMPROVEMENTS BUDGET  
FOR THE CITY OF LOCUST GROVE, GEORGIA  
FOR THE FISCAL YEAR 2023 – First Half (50%)**

General Fund (100) FY 2023 Proposed		Original 23	YTD	60% of FY	Amend	Rev FY 23
<b>TAXES</b>						
3-0000-31.1100	REAL PROPERTY - CURRENT YEAR	-	0	0.0%		0
3-0000-31.1200	REAL PROPERTY - PRIOR YEAR	-	0	0.0%		0
3-0000-31.1220	GENERAL BUS LIC INSURANCE	-	0	0.0%		0
3-0000-31.1315	MOTOR VEHICLE TAVT TAX	342,000	164,674	48.2%		342,000
3-0000-31.1316	ALTERNATIVE AAVT TAX	20,000	0	0.0%	-15,000	5,000
3-0000-31.1340	INTANGIBLE TAX	80,000	16,503	20.6%		80,000
3-0000-31.1350	RAILROAD EQUIPMENT TAX	1,750	0	0.0%		0
3-0000-31.1400	PERSONAL PROPERTY - PRIOR YEAR	-	0	0.0%		0
3-0000-31.1600	REAL ESTATE TRANSFERS	25,500	11,865	46.5%		25,500
3-0000-31.1710	FRANCHISE TAX - ELECTRIC	545,000	555,256	101.9%	11000	556,000
3-0000-31.1711	CAPITAL CREDIT REFUND	-	0	0.0%		0
3-0000-31.1730	FRANCHISE TAX - NATURAL GAS	37,500	0	0.0%		37,500
3-0000-31.1750	FRANCHISE TAX - CABLE TV	120,000	50,189	41.8%	-10000	110,000
3-0000-31.1751	FRANCHISE TAX - VIDEO SVC	-	1,939	0.0%	5,000	5,000
3-0000-31.1760	FRANCHISE TAX - TELEPHONE	10,000	2,457	24.6%		10,000
3-0000-31.1790	OTHER FRANCHISE TAX	-	18,987	0.0%		0
3-0000-31.3100	LOCAL OPTION SALES /USE TAX	2,877,000	1,636,395	56.9%		2,877,000
3-0000-31.3150	TAVT + AAVT	210,000	0	0.0%	-210,000	0
3-0000-31.4201	ALCOHOL TAX	445,000	186,968	42.0%		445,000
3-0000-31.4250	DISTILLED SPIRITS ALCOHOL EXCI	-	0	0.0%		0
3-0000-31.4300	MIXED DRINK EXCISE TAX	-	0	0.0%		0
3-0000-31.6100	OCCUPATION TAXES	320,000	205,643	64.3%		320,000
3-0000-31.6120	REGULATORY FEES	-	8,825	0.0%		0
3-0000-31.6200	INSURANCE PREMIUM TAX	915,000	0	0.0%		915,000
3-0000-31.6300	FINANCIAL INSTITUTION TAXES	-	0	0.0%		0
3-0000-31.9000	PENALTIES/INTEREST DEL TAXES	-	0	0.0%		0
<b>TOTAL TAXES</b>		<b>5,948,750</b>	<b>2,859,702</b>	<b>48.1%</b>	<b>-219,000</b>	<b>5,729,750</b>
<b>LICENSES AND PERMITS</b>						
3-0000-32.1110	ALCOHOL BEV-BEER LICENSE	17,500	0	0.0%		17,500
3-0000-32.1120	ALCOHOL BEV WINE LICENSE	12,500	2,000	16.0%		12,500
3-0000-32.1130	ALCOHOL BEV - LIQUOR LICENSE	40,500	14,000	34.6%		40,500
3-0000-32.1135	LIQUOR/DISTILLD SPIRITS RETAIL	-	0	0.0%		0
3-0000-32.1200	GENERAL BUSINESS LICENSE	-	4,350	0.0%		0
3-0000-32.1210	REAL ESTATE BUSINESS LICENSE	-	0	0.0%		0

General Fund (100) FY 2023 Proposed		Original 23	YTD	60% of FY	Amend	Rev FY 23
3-0000-32.1220	GENERAL BUS LIC -INSURANCE	22,500	14,500	64.4%		22,500
3-0000-32.1900	REGULATORY FEES	35,000	3,300	9.4%		35,000
3-0000-32.2120	BLDG PERMITS /INSPECTIONS -RES	350,000	168,386	48.1%		350,000
3-0000-32.2130	BLDG PERMIT/INSPECTIONS -COMM	500,000	279,783	56.0%		500,000
3-0000-32.3100	BUSINESS LICENSE PENALTY	-	30	0.0%		0
3-0000-32.3300	SHORT-TERM VACA RENTAL REG FEE	-	0	0.0%		0
TOTAL LICENSES AND PERMITS		978,000	486,348	49.7%	0	978,000
INTERGOVERNMENTAL REV						
3-0000-33.4450	GRANT BULLET PROOF VEST	500	0	0.0%		500
3-0000-33.4500	GRANT / DONATIONS -COPS	2,000	1,950	97.5%		2,000
3-0000-33.5000	DONATION-PLAYGROUND EQUIP	-	0	0.0%		0
3-0000-33.6100	DONATIONS	1,000	650	65.0%		1,000
3-0000-33.7000	CDBG GRANT	-	0	0.0%		0
3-0000-34.1301	DISPOSITION OF PROPERTY	-	0	0.0%		0
TOTAL INTERGOVERNMENTAL REV		3,500	2,600	74.3%	0	3,500
CHARGES FOR SERVICES						
3-0000-34.1310	ZONING INSPECTION FEES	35,000	22,553	64.4%		35,000
3-0000-34.1311	LAND DEVELOPMENT FEES	90,000	26,706	29.7%		90,000
3-0000-34.1312	SITE PLAN REVIEW FEES	45,000	18,250	40.6%		45,000
3-0000-34.1321	SOIL EROSION FEES	5,000	0	0.0%		5,000
3-0000-34.1323	STREET LIGHT DISTRICT REV.	20,000	335	1.7%		20,000
<del>3-0000-34.1325</del>	<del>TREE REPLACEMENT REVENUE</del>	<del>-----</del>	<del>0</del>	<del>0.0%</del>		<del>0</del>
3-0000-34.1900	SIDEWALKS	-	0	0.0%		0
3-0000-34.1910	QUALIFYING FEE FOR ELECTION	1,000	0	0.0%		1,000
3-0000-34.1950	ACCIDENT REPORTS	7,500	3,385	45.1%		7,500
3-0000-34.1955	CRIMINAL HISTORY REPORTS	-	0	0.0%		0
3-0000-34.1960	ADM CHARGE ON FINES	12,500	0	0.0%		12,500
3-0000-34.1990	ADM CHARGE FOR INCODE	15,000	0	0.0%		15,000
3-0000-34.6100	BACKGROUND CHECK FEES	2,000	600	30.0%		2,000
3-0000-34.9001	DONATIONS	-	0	0.0%		0
3-0000-34.9300	BAD CHECK FEES	100	140	140.0%	100	200
TOTAL CHARGES FOR SERVICES		233,100	71,970	30.9%	100	233,200
FINES AND FORFEITURES						

General Fund (100) FY 2023 Proposed		Original 23	YTD	60% of FY	Amend	Rev FY 23
3-0000-35.1170	FINES & FORFEITURES	650,000	462,454	71.1%		650,000
3-0000-35.1175	BOND ACCOUNT	-	0	0.0%		0
TOTAL FINES AND FORFEITURES		650,000	462,454	71.1%	0	650,000
INVESTMENT INCOME				0.0%		
3-0000-36.1000	INTEREST REVENUES	40,000	38,106	95.3%	25,000	65,000
TOTAL INVESTMENT INCOME		40,000	38,106	95.3%	25,000	65,000
MISCELLANEOUS REVENUE				0.0%		
3-0000-38.1000	RENTS & ROYALTIES	500	30	5.9%		500
3-0000-38.1010	SPECIAL EVENT PERMIT	500	0	0.0%		500
3-0000-38.1025	PAVILLION RENTAL	500	275	55.0%		500
3-0000-38.1050	HOUSE RENTAL -LOCUST ROAD	25,000	11,077	44.3%		25,000
3-0000-38.3000	INS REIMBURSE DAMAGE PROPERTY	25,000	4,150	16.6%		25,000
3-0000-38.3100	INS REIMBURSE WKS COMP	500	0	0.0%		500
3-0000-38.3400	INS REIMBURSE FOR OVERPAYMENT	500	860	172.1%	500	1,000
3-0000-38.5000	LMIG PROGRAM	450,000	114,702	25.5%	-300000	150,000
3-0000-38.6007	INTERGOVERNMENTAL SDS AGREEMEN	-	0	0.0%		0
3-0000-38.9000	MISCELLANEOUS REVENUE	15,000	793	5.3%		15,000
3-0000-38.9010	RETURN CHECK FEES	100	0	0.0%		100
3-0000-38.9100	REFUNDS POLICE DEPT	-	0	0.0%		0
3-0000-38.9200	REFUNDS PUBLIC WORKS	-	0	0.0%		0
3-0000-38.9300	REFUNDS ADMINISTRATIONS	7,500	0	0.0%		7,500
3-0000-38.9900	PRIOR YEAR REVENUE	428,735	0	0.0%	875400	1,304,135
3-0000-38.9910	RESERVE - TRANSPORTATION	-	0	0.0%		0
TOTAL MISCELLANEOUS REVENUE		953,835	131,886	13.8%	575,900	1,529,735
OTHER FINANCIAL SOURCES				0.0%		
3-0000-39.1000	TRANSFER IN - HOTEL MOTEL	-	0	0.0%		0
3-0000-39.1001	ARPA FUND - TRANSFER IN	-	0	0.0%		0
3-0000-39.1100	OPERATING TRANSFERS	-	0	0.0%		0
3-0000-39.1210	ADMIN FEE - WATER TRANSFER IN	450,000	127,500	28.3%		450,000
3-0000-39.1220	ADMIN FEE - SEWER TRANSFER IN	455,000	265,000	58.2%		455,000
3-0000-39.1230	ADMIN FEE - SANIT TRANSFER IN	10,000	5,000	50.0%		10,000
3-0000-39.1240	ADMIN FEE - STORM TRANSFER IN	40,000	31,000	77.5%		40,000
3-0000-39.1250	ADMIN FEE - H/M TRANSFER IN	105,000	52,500	50.0%		105,000

General Fund (100) FY 2023 Proposed		Original 23	YTD	60% of FY	Amend	Rev FY 23
TOTAL OTHER FINANCIAL SOURCES		1,060,000	481,000	45.4%	0	1,060,000
TOTAL NON DEPARTMENTAL		9,867,185	4,534,066	46.0%	382,000	10,249,185
<b>TOTAL REVENUES</b>		<b>9,867,185</b>	<b>4,534,066</b>	<b>46.0%</b>	<b>382,000</b>	<b>10,249,185</b>
<b>Department 1110 - Elected Officials</b>						
PERSONAL SVC & EMP BEN						
5-1110-51.1150	MAYOR SALARY	10,800	7,200	66.7%		10,800
5-1110-51.1155	COUNCIL SALARY	50,400	33,600	66.7%		50,400
5-1110-51.2200	FICA (SOCIAL SECURITY)	1,000	592	59.2%		1,000
5-1110-51.2400	RETIREMENT	30,000	19,645	65.5%	5000	35,000
5-1110-51.2750	UNEMPLOYMENT TAX - GEORGIA	500	161	0		500
TOTAL PERSONAL SVC & EMP BEN		92,700	61,037	65.8%		92,700
PURCHASED/CONTRACTED SVC						
5-1110-52.1200	PROFESSIONAL SERVICES	1,000	0	0.0%		1,000
5-1110-52.1230	LEGAL	2,500	0	0.0%		2,500
5-1110-52.1301	TECHNICAL - SOFTWARE	15,000	9,929	66.2%		15,000
5-1110-52.1302	TECHNICAL - HARDWARE	2,000	0	0.0%		2,000
5-1110-52.3100	RISK MANAGEMENT INSURANCE	17,500	12,667	72.4%		17,500
5-1110-52.3200	COMMUNICATIONS-CELL PHONES	500	139	27.8%		500
5-1110-52.3220	NETWORK/TELEPHONE	500	0	0.0%		500
5-1110-52.3310	PUBLIC NOTICES	1,000	1,932	193.2%	1,500	2,500
5-1110-52.3500	TRAVEL MILEAGE REIMBURSEMENT	4,000	1,329	33.2%		4,000
5-1110-52.3600	DUES & FEES	500	348	69.5%		500
5-1110-52.3700	EDUCATION & TRAINING	-	21	0.0%		-
5-1110-52.3701	EDUCATION & TRAINING - MAYOR	4,500	0	0.0%		4,500
5-1110-52.3702	EDUCATION & TRAINING - TAYLOR	3,750	475	12.7%		3,750
5-1110-52.3703	EDUCATION & TRAINING - GREER	3,750	1,071	28.5%		3,750
5-1110-52.3707	EDUCATION & TRAINING - BOONE	3,750	2,483	66.2%		3,750
5-1110-52.3709	EDUCATION & TRAINING BREEDLOVE	3,750	1,172	31.3%		3,750
5-1110-52.3710	EDUCATION & TRAINING - NEWLY E	-	0	0.0%		-
5-1110-52.3711	EDUCATION&TRAINING-SHEAROUSE	3,750	655	17.5%		3,750
5-1110-52.3712	EDUCATION & TRAINING-WILLIAMS	3,750	2,198	58.6%		3,750
5-1110-52.3720	LEADERSHIP HENRY SCHOLARSHIP	-	800	0.0%	2,500	2,500
5-1110-52.3750	MTGS & CONF (RETREATS /HCMA)	33,500	14,949	44.6%	(2,500)	31,000



General Fund (100) FY 2023 Proposed						
	Original 23	YTD	60% of FY	Amend	Rev FY 23	
TOTAL PURCHASED/CONTRACTED SV	105,000	50,168	47.8%	1,500	106,500	
- SUPPLIES						
5-1110-53.1105	500	0	-		500	
5-1110-53.1785	1,000	0	0.0%		1,000	
TOTAL SUPPLIES	1,500	-	0.0%	1,500	3,000	
CAPITAL OUTLAY						
5-1110-54.2450	1,500	0	0.0%		1,500	
TOTAL CAPITAL OUTLAY	1,500	0	0.0%		1,500	
<b>TOTAL ELECTED OFFICIALS</b>	<b>200,700</b>	<b>111,205</b>	<b>55.4%</b>	<b>3,000</b>	<b>203,700</b>	
<b>Administration (100-1510)</b>						
PERSONAL SVC & EMP BEN						
5-1510-51.1100	806,250	427,918	53.1%		806,250	
5-1510-51.1300	2,000	1,347	67.4%		2,000	
5-1510-51.2100	92,500	81,381	88.0%	10,000	102,500	
5-1510-51.2200	9,000	6,124	68.0%		9,000	
5-1510-51.2400	55,000	39,339	71.5%		55,000	
5-1510-51.2700	25,000	22,331	89.3%		25,000	
5-1510-51.2750	2,000	25	1.2%		2,000	
TOTAL PERSONAL SVC & EMP BEN	991,750	578,466	58.3%	14,500	1,006,250	
PURCHASED/CONTRACTED SVC						
5-1510-52.1200	25,000	13,762	55.0%		25,000	
5-1510-52.1220	65,000	38,865	59.8%		65,000	
5-1510-52.1230	60,000	27,336	45.6%		60,000	
5-1510-52.1300	-	0	0.0%		-	
5-1510-52.1301	135,000	139,421	103.3%	2,500	137,500	
5-1510-52.1302	25,000	4,232	16.9%	(12,500)	12,500	
5-1510-52.1400	500	210	42.0%		500	
5-1510-52.2210	7,500	1,221	16.3%	(2,500)	5,000	
5-1510-52.2211	5,000	4,337	86.7%	1,500	6,500	
5-1510-52.2212	3,000	2,000	66.7%		3,000	
5-1510-52.2240	50,000	12,721	25.4%	(20,000)	30,000	

General Fund (100) FY 2023 Proposed		Original 23	YTD	60% of FY	Amend	Rev FY 23
5-1510-52.2245	RENTAL PROP - REPAIRS	12,500	876	7.0%	(5,000)	7,500
5-1510-52.2250	OTHER EQUIP. REPAIRS/MAINT	12,000	8,401	70.0%		12,000
5-1510-52.2320	RENTAL OF EQUIPMENT & VEHICLE	5,000	675	13.5%		5,000
5-1510-52.3100	RISK MANAGEMENT INSURANCE	30,000	18,096	60.3%	(7,500)	22,500
5-1510-52.3200	COMMUNICATIONS-CELL PHONES	2,000	1,569	78.5%		2,000
5-1510-52.3205	INTERNET	-	0	0.0%		-
5-1510-52.3220	NETWORK/TELEPHONE	80,000	42,831	53.5%		80,000
5-1510-52.3300	ADVERTISING	2,000	1,200	60.0%		2,000
5-1510-52.3310	PUBLIC NOTICES	2,500	2,840	113.6%	1,500	4,000
5-1510-52.3500	TRAVEL MILEAGE REIMBURSEMENT	2,500	1,379	55.2%		2,500
5-1510-52.3600	DUES & FEES	6,500	5,690	87.5%		6,500
5-1510-52.3700	EDUCATION & TRAINING	15,000	2,947	19.6%		15,000
5-1510-52.3750	MEETINGS & CONFERENCE	8,000	2,360	29.5%		8,000
5-1510-52.3851	CONTRACTED SVCS - CITY HALL	20,000	14,242	71.2%		20,000
5-1510-52.3855	CONTRACTS & SPONSORSHIPS	10,000	1,423	14.2%		10,000
TOTAL PURCHASED/CONTRACTED SVC		584,000	348,635	59.7%	-27,500	556,500
SUPPLIES						
5-1510-52.3970	POSTAGE	25,000	15,739	63.0%		25,000
5-1510-53.1105	OFFICE SUPPLIES	10,000	3,695	37.0%		10,000
5-1510-53.1107	BANK & CREDIT CARD CHARGES	25,000	13,878	55.5%		25,000
5-1510-53.1108	CHECK FRAUD PROVISION	-	0	0.0%		-
5-1510-53.1160	OPERATING EQUIPMENT	1,000	0	0.0%		1,000
5-1510-53.1161	GIFTS & FLOWERS	4,000	654	16.3%		4,000
5-1510-53.1164	COVID-19 SUPPLIES	-	0	0.0%		-
5-1510-53.1165	DISASTER RELIEF SUPPLIES	500	0	0.0%		500
5-1510-53.1205	UTILITIES	50,000	31,135	62.3%	10,000	60,000
5-1510-53.1210	STORMWATER FEES	1,500	0	0.0%		1,500
5-1510-53.1700	OTHER SUPPLIES	7,000	3,220	46.0%		7,000
5-1510-53.1728	MAYORS MOTORCADE	1,200	0	0.0%		1,200
5-1510-53.1729	CITY EVENTS	10,000	882	8.8%		10,000
5-1510-53.1785	UNIFORMS	2,500	1,337	53.5%		2,500
5-1510-53.1790	ELECTION EXPENSE	35,000	32,536	93.0%	25,000	60,000
5-1510-53.1795	MISCELLANEOUS	-	0	0.0%		-
TOTAL SUPPLIES		172,700	103,076	59.7%	35,000	207,700
CAPITAL OUTLAY						

General Fund (100) FY 2023 Proposed		Original 23	YTD	60% of FY	Amend	Rev FY 23
5-1510-54.1100	ACQUISITION OF PROPERTY	125,000	0	0.0%	(100,000)	25,000
5-1510-54.1310	RENOVATIONS TO CITY HALL VEHICLES	125,000	0	0.0%	(75,000)	50,000
5-1510-54.2200	FURNITURE & FIXTURES	-	0	0.0%		-
5-1510-54.2300	COMPUTERS	20,000	7,111	0.0%	30,000	50,000
5-1510-54.2400	COMP HARDWARE/SERVER CAPITAL EQUIPMENT	150,000	130,746	87.2%		150,000
5-1510-54.2450	TOTAL CAPITAL OUTLAY	5,000	2,975	59.5%		5,000
5-1510-56.1000	DEPRECIATION & AMORT	450,000	140,832	31.3%	-85,000	365,000
5-1510-56.1000	DEPRECIATION	-	0	0.0%		-
5-1510-56.1000	TOTAL DEPRECIATION & AMORT	-	-	0.0%	0	0
5-1510-57.9000	PAYMENT TO OTHERS			0.0%		
5-1510-57.9000	CONTINGENCIES	17,500	0	0.0%		17,500
5-1510-57.9000	TOTAL PAYMENT TO OTHERS	17,500	0	0.0%		17,500
<b>TOTAL ADMINISTRATION</b>		<b>2,215,950</b>	<b>1,171,009</b>	<b>52.8%</b>	<b>-63,000</b>	<b>2,152,950</b>
<b>Municipal Court (100-2650)</b>						
PERSONAL SVC & EMP BEN						
5-2650-51.1100	REGULAR EMPLOYEES	110,500	58,203	52.7%		110,500
5-2650-51.1158	JUDGE SALARY	25,000	12,000	48.0%		25,000
5-2650-51.1300	OVERTIME	500	230	46.0%		500
5-2650-51.2100	GROUP INSURANCE	13,500	11,939	88.4%	5,000	18,500
5-2650-51.2200	FICA (SOCIAL SECURITY)	1,500	830	55.3%		1,500
5-2650-51.2400	RETIREMENT	11,000	7,263	66.0%		11,000
5-2650-51.2500	TUITION REIMBURSEMENTS	-	0	0.0%		-
5-2650-51.2700	WORKER'S COMPENSATION	3,500	2,627	75.1%		3,500
5-2650-51.2750	UNEMPLOYMENT TAX - GEORGIA	250	49	19.4%		250
5-2650-51.2750	TOTAL PERSONAL SVC & EMP BEN PURCHASED/CONTRACTED SVC	165,750	93,141	56.2%	5,000	170,750
5-2650-52.1230	LEGAL	4,000	0	0.0%		4,000
5-2650-52.1260	SOLICITOR	22,000	9,643	43.8%		22,000

General Fund (100) FY 2023 Proposed		Original 23	YTD	60% of FY	Amend	Rev FY 23
5-2650-52.1261	PUBLIC DEFENDER	15,000	6,300	42.0%		15,000
5-2650-52.1300	TECHNICAL SERVICES	-	0	0.0%		-
5-2650-52.1301	TECHNICAL - SOFTWARE	20,000	22,135	110.7%	15,000	35,000
5-2650-52.1302	TECHNICAL - HARDWARE	2,500	536	21.4%	(1,000)	1,500
5-2650-52.1400	DRUG & MEDICAL	200	120	60.0%		200
5-2650-52.2210	AUTO / TRUCK EXPENSE	-	0	0.0%		-
5-2650-52.2211	AUTO / TRUCK FUEL	-	71	0.0%		-
5-2650-52.2250	OTHER EQUIP. REPAIRS/MAINT	-	0	0.0%		-
5-2650-52.3100	RISK MANAGEMENT INSURANCE	5,000	1,810	36.2%	(2,000)	3,000
5-2650-52.3200	COMMUNICATIONS-CELL PHONES	500	139	27.8%		500
5-2650-52.3205	INTERNET	1,000	0	0.0%		1,000
5-2650-52.3310	PUBLIC NOTICES	100	0	0.0%		100
5-2650-52.3500	TRAVEL-MILEAGE REIMBURSEMENT	400	0	0.0%		400
5-2650-52.3600	DUES & FEES	400	148	37.1%		400
5-2650-52.3700	EDUCATION & TRAINING	3,500	400	11.4%		3,500
5-2650-52.3970	POSTAGE	1,000	300	30.0%		1,000
5-2650-52.3995	COURT COST-SUBPEONAS	200	24	11.9%		200
TOTAL PURCHASED/CONTRACTED SVC SUPPLIES		75,800	41,626	54.9%	12,000	87,800
5-2650-53.1105	OFFICE SUPPLIES	2,500	726	29.0%		2,500
5-2650-53.1107	BANK & CREDIT CARD CHARGES	18,000	0	0.0%	(8,000)	10,000
5-2650-53.1160	OPERATING EQUIPMENT	500	274	54.9%		500
5-2650-53.1700	OTHER SUPPLIES	1,000	33	3.3%		1,000
5-2650-53.1785	UNIFORMS	600	0	0.0%		600
5-2650-53.1786	BOOT ALLOWANCE	-	0	0.0%		-
5-2650-53.1795	MISCELLANEOUS	-	0	0.0%		-
TOTAL SUPPLIES		22,600	1,033	4.6%	(8,000)	14,600
CAPITAL OUTLAY						
5-2650-54.2200	VEHICLES	-	0	0.0%		-
5-2650-54.2300	FURNITURE & FIXTURES	-	0	0.0%		-
5-2650-54.2400	COMPUTERS	1,500	0	0.0%	(1,500)	-
5-2650-54.2420	PAPERLESS COURT SYSTEM	7,500	0	0.0%	-5000	2,500
5-2650-54.2450	COMP HARDWARE/COURTWARE	5,000	0	0.0%		5,000
5-2650-54.2500	EQUIPMENT COMMUNITY SERV	250	0	0.0%		250

General Fund (100) FY 2023 Proposed					
	Original 23	YTD	60% of FY	Amend	Rev FY 23
5-2650-54.2550	1,000	0	0.0%		1,000
TOTAL CAPITAL OUTLAY	15,250	-	0.0%	(6,500)	8,750
DEPRECIATION & AMORT					
5-2650-56.1000	-	0	0.0%		0
TOTAL DEPRECIATION & AMORT	-	-	0.0%	-	0
PAYMENT TO OTHERS					
5-2650-57.2000	31,250	22,835	73.1%	1750	33,000
JAIL CONSTRUCTION					
5-2650-57.2100	1,000	2,833	283.3%	4000	5,000
GEORGIA CRIME VICTIMS					
5-2650-57.2110	15,500	10,783	69.6%	6500	15,500
VICTIMS ASSISTANCE FUND					
5-2650-57.2120	31,000	28,985	93.5%	6500	37,500
POLICE OFFICERS A & B FUND					
5-2650-57.2130	29,000	17,669	60.9%		29,000
POLICE /PROSCUTOR TRAINING					
5-2650-57.2150	2,000	555	27.8%		2,000
SPINAL INJURY TRUST FUND					
5-2650-57.2160	750	25	3.3%		750
GBI CRIME LAB					
5-2650-57.2170	32,500	22,323	68.7%		32,500
INDIGENT DEFENSE -POTFIOF					
5-2650-57.2180	6,500	373	5.7%		6,500
DRUG TREATMENT & EDUCATION					
5-2650-57.2190	5,000	138	2.8%		5,000
DRIVERS ED & TRAINING FUND					
5-2650-57.9000	5,000	0	0.0%	-1000	4,000
CONTINGENCIES					
TOTAL PAYMENT TO OTHERS	159,500	106,520	66.8%	11,250	170,750
<b>TOTAL MUNICIPAL COURT</b>	<b>363,100</b>	<b>200,694</b>	<b>55.3%</b>	<b>1,750</b>	<b>364,850</b>
<b>Police (100 - 3230)</b>					
PERSONAL SVC & EMP BEN					
5-3230-51.1100	2,067,500	1,107,700	53.6%	-25000	2,042,500
REGULAR EMPLOYEES					
5-3230-51.1300	60,000	36,753	61.3%		60,000
OVERTIME					
5-3230-51.2100	340,000	298,777	87.9%	25000	365,000
GROUP INSURANCE					
5-3230-51.2200	23,000	15,219	66.2%		23,000
FICA (SOCIAL SECURITY)					
5-3230-51.2400	120,000	93,685	78.1%	5000	125,000
RETIREMENT					
5-3230-51.2500	-	0	0.0%		0
TUITION REIMBURSEMENTS					
5-3230-51.2700	45,500	39,408	86.6%		45,500
WORKER'S COMPENSATION					
5-3230-51.2750	3,500	91	2.6%		3,500
UNEMPLOYMENT TAX - GEORGIA					
TOTAL PERSONAL SVC & EMP BEN	2,659,500	1,591,632	59.8%	5,000	2,664,500
PURCHASED/CONTRACTED SVC					

General Fund (100) FY 2023 Proposed		Original 23	YTD	60% of FY	Amend	Rev FY 23
5-3230-52.1230	LEGAL	5,000	733	14.7%	-1000	4,000
5-3230-52.1300	TECHNICAL SERVICES	-	0	0.0%		0
5-3230-52.1301	TECHNICAL - SOFTWARE	70,000	114,686	163.8%	75000	145,000
5-3230-52.1302	TECHNICAL - HARDWARE	80,000	36,739	45.9%	-7500	72,500
5-3230-52.1400	DRUG & MEDICAL	2,000	510	25.5%		2,000
5-3230-52.2210	AUTO/TRUCK EXPENSES	30,000	37,849	126.2%	15000	45,000
5-3230-52.2211	AUTO GAS & FUEL	70,000	53,641	76.6%		70,000
5-3230-52.2240	BUILDING & GROUNDS	27,500	18,863	68.6%		27,500
5-3230-52.2250	OTHER EQUIP. REPAIRS/MAINT	3,500	3,799	108.5%	5000	8,500
5-3230-52.3100	RISK MANAGEMENT INSURANCE	45,000	54,289	120.6%	10000	55,000
5-3230-52.3200	COMMUNICATIONS-CELL PHONES	27,500	17,523	63.7%		27,500
5-3230-52.3201	TELEPHONE	-	0	0.0%		0
5-3230-52.3205	INTERNET	-	0	0.0%		0
5-3230-52.3220	NETWORK/TELEPHONE	15,000	8,425	56.2%		15,000
5-3230-52.3300	ADVERTISING	1,500	68	4.6%		1,500
5-3230-52.3500	TRAVEL MILEAGE REIMBURSEMENT	1,000	0	0.0%		1,000
5-3230-52.3600	DUES & FEES	3,000	2,113	70.4%		3,000
5-3230-52.3700	EDUCATION & TRAINING	6,500	3,764	57.9%		6,500
5-3230-52.3750	MEETINGS & CONFERENCE	12,000	2,441	20.3%	-2000	10,000
5-3230-52.3850	CONTRACT LABOR	-	0	0.0%		0
5-3230-52.3851	CONTRACTED SVCS - PSB	25,000	11,879	47.5%		25,000
5-3230-52.3950	TASK FORCE EXPENSES	-	0	0.0%		0
5-3230-52.3970	POSTAGE	2,000	435	21.7%		2,000
5-3230-52.3980	INVESTIGATIONS	-	0	0.0%		0
TOTAL PURCHASED/CONTRACTED SVC		426,500	367,758	86.2%	94,500	521,000
SUPPLIES						
5-3230-53.1105	OFFICE SUPPLIES	3,500	1,422	40.6%		3,500
5-3230-53.1107	BANK & CREDIT CARD CHARGES	22,500	69	0.3%		22,500
5-3230-53.1150	OPERATING SUPPLIES	4,500	3,269	72.6%		4,500
5-3230-53.1160	OPERATING EQUIPMENT	25,000	89,639	358.6%	100000	125,000
5-3230-53.1170	COPS EXPENSE	5,000	131	2.6%		5,000
5-3230-53.1205	UTILITIES	30,000	15,208	50.7%		30,000
5-3230-53.1210	STORMWATER FEES	1,000	0	0.0%		1,000
5-3230-53.1700	OTHER SUPPLIES	4,000	2,835	70.9%		4,000
5-3230-53.1785	UNIFORMS	26,000	10,042	38.6%		26,000



General Fund (100) FY 2023 Proposed		Original 23	YTD	60% of FY	Amend	Rev FY 23
5-3230-53.1795	MISCELLANEOUS	-	0	0.0%		0
TOTAL SUPPLIES		121,500	122,614	100.9%	100,000	221,500
CAPITAL OUTLAY						
5-3230-54.1310	PUBLIC SAFETY BUILDING	5,000	0	0.0%		5,000
5-3230-54.2200	VEHICLES	155,000	152,552	98.4%		155,000
5-3230-54.2300	FURNITURE & FIXTURES	5,000	0	0.0%		5,000
5-3230-54.2400	COMPUTERS	10,000	7,224	72.2%		10,000
5-3230-54.2450	COMP HARDWARE/SERVER CAPITAL	10,000	0	0.0%	-5,000	5,000
5-3230-54.2500	EQUIPMENT	117,500	13,881	11.8%	-90,000	27,500
TOTAL CAPITAL OUTLAY		302,500	173,657	57.4%	(95,000)	207,500
INTERFUND CHARGES						
5-3230-55.2300	JUDGEMENTS	6,000	0	0.0%		6,000
TOTAL INTERFUND CHARGES		155,000	152,552	98.4%	0	155,000
DEPRECIATION & AMORT						
5-3230-56.1000	DEPRECIATION	-	0	0.0%		0
TOTAL DEPRECIATION & AMORT		5,000	0	0.0%	-	5,000
PAYMENT TO OTHERS						
5-3230-57.9000	CONTINGENCIES	11,000	0	0.0%	-1,000	10,000
TOTAL PAYMENT TO OTHERS		10,000	7,224	72.2%	0	10,000
DEBT SERVICE						
5-3230-58.1204	PD INCODE SOFTWARE PRINCIPAL	-	0	0.0%		0
5-3230-58.1205	LEASE BUILDING FOR SQUAD RM	-	0	0.0%		0
5-3230-58.2204	PD INCODE SOFTWARE INTEREST	-	0	0.0%		0
TOTAL DEBT SERVICE		617,000	347,313	56.3%	-191,000	426,000
<b>TOTAL POLICE DEPARTMENT</b>		<b>4,297,000</b>	<b>2,762,749</b>	<b>64.3%</b>	<b>-86,500</b>	<b>4,210,500</b>
<b>Street Maintenance (100 - 4210)</b>						
PERSONAL SVC & EMP BEN						
5-4210-51.1100	REGULAR EMPLOYEES	700,000	374,711	53.5%	-10,000	690,000
5-4210-51.1200	SEASONAL EMPLOYEES	-	0	0.0%		0

General Fund (100) FY 2023 Proposed		Original 23	YTD	60% of FY	Amend	Rev FY 23
5-4210-51.1300	OVERTIME	15,500	9,058	58.4%		15,500
5-4210-51.2100	GROUP INSURANCE	139,000	101,544	73.1%	6,000	145,000
5-4210-51.2200	FICA (SOCIAL SECURITY)	7,500	5,440	72.5%		7,500
5-4210-51.2400	RETIREMENT	60,000	37,185	62.0%		60,000
5-4210-51.2700	WORKER'S COMPENSATION	21,000	15,763	75.1%		21,000
5-4210-51.2750	UNEMPLOYMENT TAX - GEORGIA	2,500	300	12.0%		2,500
TOTAL PERSONAL SVC & EMP BEN PURCHASED/CONTRACTED SVC		945,500	544,002	57.5%	(4,000)	941,500
5-4210-52.1200	PROFESSIONAL	1,000	0	0.0%		1,000
5-4210-52.1230	LEGAL	500	0	0.0%		500
5-4210-52.1250	ENGINEERING	25,000	3,000	12.0%		25,000
5-4210-52.1300	TECHNICAL SERVICES	-	0	0.0%		0
5-4210-52.1301	TECHNICAL - SOFTWARE	22,500	4,691	20.8%		22,500
5-4210-52.1302	TECHNICAL - HARDWARE	2,000	241	12.1%		2,000
5-4210-52.1400	DRUG & MEDICAL	1,500	1,491	99.4%	500	2,000
5-4210-52.2210	AUTO/TRUCK EXPENSES	15,000	12,782	85.2%	5,000	20,000
5-4210-52.2211	AUTO GAS & FUEL	25,000	13,875	55.5%		25,000
5-4210-52.2240	BUILDING & GROUNDS	10,000	3,803	38.0%		10,000
5-4210-52.2250	OTHER EQUIP. REPAIRS/MAINT	15,000	24,927	166.2%	15,000	30,000
5-4210-52.2260	STREET MAINTENANCE & PAVING	50,000	17,565	35.1%	-5,000	45,000
5-4210-52.2320	RENTAL OF EQUIPMENT & VEHICLE	17,500	2,028	11.6%	-5,000	12,500
5-4210-52.3100	RISK MANAGEMENT INSURANCE	31,500	30,764	97.7%		31,500
5-4210-52.3200	COMMUNICATIONS-CELL PHONES	8,500	4,676	55.0%		8,500
5-4210-52.3201	TELEPHONE	-	0	0.0%		0
5-4210-52.3205	INTERNET	4,000	0	0.0%	-2,000	2,000
5-4210-52.3310	PUBLIC NOTICES	200	0	0.0%		200
5-4210-52.3600	DUES & FEES	2,500	1,054	42.2%		2,500
5-4210-52.3700	EDUCATION & TRAINING	2,000	435	21.8%		2,000
5-4210-52.3750	MEETINGS & CONFERENCE	750	1,818	242.4%	1,500	2,250
5-4210-52.3940	TREE MAINTENANCE	35,000	29,523	84.4%		35,000
TOTAL PURCHASED/CONTRACTED SVC SUPPLIES		269,450	152,673	56.7%	10,000	279,450
5-4210-53.1105	OFFICE SUPPLIES	1,500	139	9.2%		1,500
5-4210-53.1150	OPERATING SUPPLIES	12,500	8,110	64.9%		12,500

General Fund (100) FY 2023 Proposed		Original 23	YTD	60% of FY	Amend	Rev FY 23
5-4210-53.1160	OPERATING EQUIPMENT	10,500	6,021	57.3%		10,500
5-4210-53.1205	UTILITIES	33,000	3,330	10.1%	-7,500	25,500
5-4210-53.1210	STORMWATER FEES	2,000	0	0.0%		2,000
5-4210-53.1225	STREET LIGHTS	117,500	63,733	54.2%		117,500
5-4210-53.1230	STREET LIGHT DISTRICT SVCS	25,000	22,968	91.9%	7,500	32,500
5-4210-53.1700	OTHER SUPPLIES	3,000	1,256	41.9%		3,000
5-4210-53.1720	CHRISTMAS DECORATIONS	5,000	3,498	70.0%		5,000
5-4210-53.1725	SIGNALS STRT SIGNS MARKINGS	30,000	29,347	97.8%	20,000	50,000
5-4210-53.1775	REPAIR DAMAGE PROPERTY	10,000	11,867	118.7%	5,000	15,000
5-4210-53.1776	RAILROAD CROSSING IMPROVEMENTS	-	22,314	0.0%	25,000	25,000
5-4210-53.1785	UNIFORMS	15,000	10,415	69.4%		15,000
5-4210-53.1786	BOOT ALLOWANCE	1,000	0	0.0%		1,000
5-4210-53.1795	MISCELLANEOUS	-	0	0.0%		0
TOTAL SUPPLIES		266,000	182,996	68.8%	50,000	316,000
CAPITAL OUTLAY						
5-4210-54.1401	BILL GRDNR PKWY/SR 42 IMPROVE	-	0	0.0%		0
5-4210-54.1405	STATE LMIG PAVING	200,000	0	0.0%		200,000
5-4210-54.1406	HENRY CO. HWY MAINT.	-	0	0.0%		0
5-4210-54.1407	SIGNALS & INTERSECTIONS	-	0	0.0%		0
5-4210-54.2200	VEHICLES	50,000	0	0.0%	15,000	65,000
5-4210-54.2300	FURNITURE & FIXTURES	1,500	0	0.0%		1,500
5-4210-54.2400	COMPUTER	-	0	0.0%		0
5-4210-54.2450	COMP HARDWARE/SERVER CAPITAL	5,000	0	0.0%		5,000
5-4210-54.2500	EQUIPMENT	55,000	4,508	8.2%	-30,000	25,000
5-4210-54.2700	SECURITY SYSTEM	-	0	0.0%		0
TOTAL CAPITAL OUTLAY		311,500	4,508	1.4%	(15,000)	296,500
DEPRECIATION & AMORT						
5-4210-56.1000	DEPRECIATION	-	0	0.0%		0
TOTAL DEPRECIATION & AMORT						
PAYMENT TO OTHERS						
5-4210-57.3100	CLAIMS	-	0	0.0%		0
5-4210-57.9000	CONTINGENCIES	5,000	0	0.0%	0	5,000
TOTAL PAYMENT TO OTHERS		5,000	0	0.0%	0	5,000

General Fund (100) FY 2023 Proposed		Original 23	YTD	60% of FY	Amend	Rev FY 23
<b>TOTAL STREET DEPARTMENT</b>		<b>1,797,450</b>	<b>884,179</b>	<b>49.2%</b>	<b>41,000</b>	<b>1,838,450</b>
<b>Fleet Maintenance (100 -4220)</b>						
PERSONAL SVC & EMP BEN						
5-4220-51.1100	REGULAR EMPLOYEES	46,500	27,716	59.6%		46,500
5-4220-51.1300	OVERTIME	1,000	1,292	129.2%	1,000	2,000
5-4220-51.2100	GROUP INSURANCE	3,000	4	0.1%		3,000
5-4220-51.2200	FICA (SOCIAL SECURITY)	500	421	84.1%		500
5-4220-51.2400	RETIREMENT	3,000	2,806	93.5%	1,500	4,500
5-4220-51.2500	TUITION REIMBURSEMENTS	-	0	0.0%		0
5-4220-51.2700	WORKER'S COMPENSATION	2,000	1,313	65.7%		2,000
5-4220-51.2750	UNEMPLOYMENT TAX - GEORGIA	250	0	0.0%		250
<b>TOTAL PERSONAL SVC &amp; EMP BEN</b>		<b>56,250</b>	<b>33,552</b>	<b>59.6%</b>	<b>2,500</b>	<b>58,750</b>
PURCHASED/CONTRACTED SVC						
5-4220-52.1300	TECHNICAL SERVICES	-	0	0.0%		0
5-4220-52.1400	DRUG & MEDICAL	125	0	0.0%		125
5-4220-52.2210	AUTO/TRUCK EXPENSES	1,750	75	4.3%	-500	1,250
5-4220-52.2211	AUTO GAS & FUEL	750	89	11.8%		750
5-4220-52.2240	BUILDING & GROUNDS	5,000	2,343	46.9%		5,000
5-4220-52.2250	OTHER EQUIP. REPAIRS/MAINT	3,000	0	0.0%	-1,000	2,000
5-4220-52.3100	RISK MANAGEMENT INSURANCE	2,500	1,810	72.4%	-500	2,000
5-4220-52.3200	COMMUNICATIONS-CELL PHONES	250	0	0.0%		250
5-4220-52.3205	INTERNET	-	0	0.0%		0
5-4220-52.3600	DUES & FEES	200	50	24.8%		200
5-4220-52.3700	EDUCATION & TRAINING	1,000	0	0.0%		1,000
5-4220-52.3851	REPAIR SERVICES	30,000	0	0.0%	-15,000	15,000
<b>TOTAL PURCHASED/CONTRACTED SVC</b>		<b>44,575</b>	<b>4,366</b>	<b>9.8%</b>	<b>(17,000)</b>	<b>27,575</b>
SUPPLIES						
5-4220-53.1150	OPERATING SUPPLIES	10,000	12,521	125.2%	7,500	17,500
5-4220-53.1160	OPERATING EQUIPMENT	5,000	640	12.8%		5,000
5-4220-53.1205	UTILITIES	2,000	0	0.0%	-1,000	1,000
5-4220-53.1700	OTHER SUPPLIES	1,500	1,114	74.2%		1,500
5-4220-53.1785	UNIFORMS	400	30	7.5%		400

General Fund (100) FY 2023 Proposed					
	Original 23	YTD	60% of FY	Amend	Rev FY 23
5-4220-53.1786	120	0	0.0%		120
5-4220-53.1795	-	0	0.0%		0
5-4220-53.2320	500	0	0.0%		500
TOTAL SUPPLIES	19,520	14,305	73.3%	6,500	26,020
CAPITAL OUTLAY					
5-4220-54.2100	1,000	0	0.0%		1,000
5-4220-54.2200	-	0	0.0%		0
5-4220-54.2300	1,000	0	0.0%		1,000
5-4220-54.2400	-	0	0.0%		0
5-4220-54.2450	500	0	0.0%		500
5-4220-54.2500	500	0	0.0%	0	500
TOTAL CAPITAL OUTLAY	3,000	-	0.0%	-	3,000
DEPRECIATION & AMORT					
5-4220-56.1000	-	0	0.0%		0
TOTAL DEPRECIATION & AMORT	-	0	0.0%		0
PAYMENT TO OTHERS					
5-4220-57.9000	750	0	0.0%		750
TOTAL PAYMENT TO OTHERS	750	0	0.0%	0	750
<b>TOTAL FLEET MAINTENANCE</b>	<b>123,345</b>	<b>52,223</b>	<b>42.3%</b>	<b>(8,000)</b>	<b>115,345</b>
<b>Parks and Recreation (100 -6220)</b>					
PERSONAL SVC & EMP BEN					
5-6220-51.1100	25,000	0	0.0%	-10,000	15,000
5-6220-51.1300	500	0	0.0%	-250	250
5-6220-51.2100	2,000	0	0.0%	-1,000	1,000
5-6220-51.2200	200	0	0.0%		200
5-6220-51.2400	500	0	0.0%		500
5-6220-51.2500	-	0	0.0%		0
5-6220-51.2700	500	0	0.0%		500
5-6220-51.2750	200	0	0.0%		200
TOTAL PERSONAL SVC & EMP BEN	28,900	-	0.0%	(11,250)	17,650
PURCHASED/CONTRACTED SVC					

General Fund (100) FY 2023 Proposed		Original 23	YTD	60% of FY	Amend	Rev FY 23
5-6220-52.2200	REPAIR & MAINTENANCE	-	980	0.0%		0
5-6220-52.2240	BUILDING & GROUNDS	18,500	6,084	32.9%		18,500
5-6220-52.3100	RISK MANAGEMENT INSURANCE	1,000	0	0.0%		1,000
5-6220-52.3220	NETWORK/TELEPHONE	1,500	2,114	140.9%	1,500	3,000
TOTAL PURCHASED/CONTRACTED SVC SUPPLIES		21,000	9,178	43.7%	1,500	22,500
5-6220-53.1205	UTILITIES	25,000	15,300	61.2%		25,000
5-6220-53.1210	STORMWATER FEES	5,000	0	0.0%		5,000
5-6220-53.1600	OPERATING SUPPLIES	2,500	714	28.5%		2,500
5-6220-53.1700	OTHER SUPPLIES	2,000	801	40.0%		2,000
TOTAL SUPPLIES		34,500	16,814	48.7%	-	34,500
CAPITAL OUTLAY						
5-6220-54.1100	REPAIRS & MAINTENANCE	1,000	0	0.0%		1,000
5-6220-54.1101	TANGER PARK	2,500	0	0.0%		2,500
5-6220-54.1300	BUILDINGS	2,500	0	0.0%		2,500
5-6220-54.2500	EQUIPMENT	-	0	0.0%		0
TOTAL CAPITAL OUTLAY		6,000	0	0.0%	0	6,000
<b>TOTAL PARKS &amp; RECREATION</b>		<b>90,400</b>	<b>25,992</b>	<b>28.8%</b>	<b>(9,750)</b>	<b>80,650</b>
<b>Community Development (7220)</b>						
PERSONAL SVC & EMP BEN						
5-7220-51.1100	REGULAR EMPLOYEES	537,000	315,062	58.7%		537,000
5-7220-51.1300	OVERTIME	750	0	0.0%		750
5-7220-51.2100	GROUP INSURANCE	62,500	58,942	94.3%	15,000	77,500
5-7220-51.2200	FICA (SOCIAL SECURITY)	6,000	4,415	73.6%		6,000
5-7220-51.2400	RETIREMENT	30,000	21,838	72.8%	5,500	35,500
5-7220-51.2700	WORKER'S COMPENSATION	10,000	9,195	92.0%		10,000
5-7220-51.2750	UNEMPLOYMENT TAX - GEORGIA	1,000	20	2.0%		1,000
TOTAL PERSONAL SVC & EMP BEN PURCHASED/CONTRACTED SVC		647,250	409,472	63.3%	20,500	667,750
5-7220-52.1200	PROFESSIONAL	50,000	943	1.9%	-10,000	40,000



General Fund (100) FY 2023 Proposed		Original 23	YTD	60% of FY	Amend	Rev FY 23
5-7220-52.1230	LEGAL	5,000	1,310	26.2%		5,000
5-7220-52.1250	ENGINEERING	17,500	817	4.7%		17,500
5-7220-52.1300	TECHNICAL SERVICES	-	0	0.0%		0
5-7220-52.1301	TECHNICAL - SOFTWARE	80,000	128,346	160.4%	85,000	165,000
5-7220-52.1302	TECHNICAL - HARDWARE	5,000	0	0.0%	-2,500	2,500
5-7220-52.1400	DRUG & MEDICAL	250	0	0.0%		250
5-7220-52.2210	AUTO/TRUCK EXPENSES	1,500	920	61.3%		1,500
5-7220-52.2211	AUTO GAS & FUEL	6,000	4,286	71.4%		6,000
5-7220-52.2250	OTHER EQUIP. REPAIRS/MAINT	7,000	5,531	79.0%		7,000
5-7220-52.3100	RISK MANAGEMENT INSURANCE	10,000	14,477	144.8%	5,000	15,000
5-7220-52.3200	COMMUNICATIONS-CELL PHONES	3,500	2,342	66.9%		3,500
5-7220-52.3201	TELEPHONE	500	0	0.0%		500
5-7220-52.3205	INTERNET	1,500	0	0.0%		1,500
5-7220-52.3310	PUBLIC NOTICES	4,000	2,041	51.0%		4,000
5-7220-52.3600	DUES & FEES	1,500	613	40.8%		1,500
5-7220-52.3700	EDUCATION & TRAINING	7,500	589	7.9%	-2,500	5,000
5-7220-52.3850	CONTRACT LABOR	275,000	189,563	68.9%		275,000
5-7220-52.3900	ABATEMENT	12,500	0	0.0%		12,500
5-7220-52.3970	POSTAGE	1,000	309	30.9%		1,000
TOTAL PURCHASED/CONTRACTED SVC		489,250	352,086	72.0%	75,000	564,250
SUPPLIES						
5-7220-53.1105	OFFICE SUPPLIES	6,500	4,293	66.0%		6,500
5-7220-53.1107	BANK & CREDIT CARD CHARGES	16,000	10,129	63.3%		16,000
5-7220-53.1160	OPERATING EQUIPMENT	1,000	0	0.0%		1,000
5-7220-53.1700	OTHER SUPPLIES	-	125	0.0%		0
5-7220-53.1785	UNIFORMS	3,000	633	21.1%		3,000
5-7220-53.1786	BOOT ALLOWANCE	240	0	0.0%		240
5-7220-53.1795	MISCELLANEOUS	-	0	0.0%		0
TOTAL SUPPLIES		26,740	15,180	56.8%	-	26,740
CAPITAL OUTLAY						
5-7220-54.2200	VEHICLES	-	0	0.0%		0
5-7220-54.2300	FURNITURE & FIXTURES	5,000	1,945	38.9%	-2,000	3,000
5-7220-54.2400	COMPUTERS	5,000	0	0.0%	-2,500	2,500
5-7220-54.2450	COMPUTER MAINTENANCE	5,000	2,200	44.0%		5,000

General Fund (100) FY 2023 Proposed		Original 23	YTD	60% of FY	Amend	Rev FY 23
5-7220-54.2500	EQUIPMENT	7,000	6,182	88.3%	5,000	12,000
	TOTAL CAPITAL OUTLAY	22,000	10,327	46.9%	500	22,500
	DEPRECIATION & AMORT					
5-7220-56.1000	DEPRECIATION	-	0	0.0%	0	0
	TOTAL DEPRECIATION & AMORT	-	0	0.0%	0	0
	PAYMENT TO OTHERS					
5-7220-57.9000	CONTINGENCIES	1,500	0	0.0%		1,500
	TOTAL PAYMENT TO OTHERS	1,500	0	0.0%	0	1,500
	<b>TOTAL COMMUNITY DEVELOPMENT</b>	<b>1,186,740</b>	<b>787,066</b>	<b>66.3%</b>	<b>96,000</b>	<b>1,282,740</b>
	TOTAL EXPENDITURES	10,274,685	5,995,118	58.3%	(25,500)	10,249,185
	REVENUE OVER/(UNDER) EXPENDITURES	(407,500)	(1,461,051)	358.5%	407,500	0

Tree Replacement Fund 190		Currnet	YTD	50%	Amend	FY 23 Amend
Tree Replacement Fund 190				0.0%		
3-0000-34.1325	TREE REPLACEMENT REVENUE	10,000	4,005	40.1%		10,000
	PURCHASED/CONTRACTED SVC					
5-4210-52.3940	TREE REPLACEMENT EXPENSE	10,000	0	0.0%		10,000
	TOTAL PURCHASED/CONTRACTED SVC	10,000	0	0.0%		10,000
	TOTAL TREE MAINTENANCE	10,000	4,005	40.1%		10,000
	TOTAL EXPENDITURES	10,000	0	0.0%		10,000
	REVENUE OVER/(UNDER) EXPENDITURES	0	0	0.0%		0

<b>Confiscated Assets Fund 210</b>						
		<b>Current</b>	<b>YTD</b>	<b>Percent</b>	<b>Adjust.</b>	<b>Rev FY 23</b>
<b>Confiscated Assets Fund 210</b>				-		
FINES AND FORFEITURES				-		
				-		
3-0000-35.1300	CONF. ASSETS -RESTRICTED	13,000	12,219	94%		13,000
3-0000-35.1301	EVIDENCE REV.- UNRESTRICTED	20,000	16,788	84%		20,000
<b>TOTAL FINES AND FORFEITURES</b>		<b>33,000</b>	<b>29,007</b>	<b>88%</b>	<b>-</b>	<b>33,000</b>
MISCELLANEOUS REVENUE						
3-0000-36.1000	INTEREST INCOME	0	0	0%		-
3-0000-38.3000	INSURANCE REIMBURSE DAMAGE PRO	0	0	0%		-
3-0000-38.9010	MISCELLANEOUS	0	0	0%		-
3-0000-38.9050	PRIOR YEAR REVENUE	15,000	0	0%		15,000
3-0000-39.1000	TRANSFER IN-GENERAL FUND	0	0	0%		-
<b>TOTAL MISCELLANEOUS REVENUE</b>		<b>15,000</b>	<b>-</b>	<b>-</b>	<b>-</b>	<b>15,000</b>
<b>TOTAL NON DEPARTMENTAL</b>		<b>48,000</b>	<b>29,007</b>	<b>60%</b>	<b>-</b>	<b>48,000</b>
<b>TOTAL REVENUES</b>		<b>48,000</b>	<b>29,007</b>	<b>60%</b>	<b>-</b>	<b>48,000</b>
PURCHASED/CONTRACTED SVC/SUPPLIES				-		
				-		
5-3230-52.2210	AUTO/TRUCK EXP	0	0	0%		-
5-3230-52.3300	ADVERTISING	0	0	0%		-
5-3230-53.1700	OTHER SUPPLIES	0	0	0%		-
<b>TOTAL PURCHASED/CONTRACTED SVC</b>		<b>-</b>	<b>-</b>	<b>-</b>		<b>-</b>
CAPITAL OUTLAY				-		
				-		
5-3230-54.2200	POLICE DEPARTMENT VEHICLES	35,000	0	0%		35,000
5-3230-54.2500	EQUIPMENT/FURNISHING	0	0	0%		-
5-3230-54.2520	CRIME SCENE EQUIP.	0	0	0%		-
5-3230-54.2530	EQUIPMENT FOR CARS	12,000	0	0%		12,000
5-3230-54.2540	EQUIPMENT FOR OFFICERS	1,000	0	0%		1,000
<b>TOTAL CAPITAL OUTLAY</b>		<b>48,000</b>	<b>-</b>	<b>0%</b>	<b>-</b>	<b>48,000</b>
PAYMENT TO OTHERS						
5-3230-57.3100	PYMT TO DA OFFICE	0	0	0%		-
<b>TOTAL PAYMENT TO OTHERS</b>		<b>-</b>	<b>-</b>	<b>-</b>		<b>-</b>
<b>TOTAL POLICE DEPARTMENT</b>		<b>48,000</b>	<b>29,007</b>	<b>60%</b>	<b>-</b>	<b>48,000</b>
<b>TOTAL EXPENDITURES</b>		<b>48,000</b>	<b>-</b>	<b>-</b>	<b>-</b>	<b>48,000</b>
<b>REVENUE OVER/(UNDER) EXPENDITURES</b>		<b>-</b>	<b>29,007</b>	<b>-</b>	<b>-</b>	<b>-</b>

CEMETERY FUND 230						
		Current	YTD	Percent	Adjust.	Rev FY 23
<b>CEMETERY FUND</b>						
CHARGES FOR SERVICES						
3-0000-34.9000	DONATIONS/CONTRIBUTIONS	250	0	0.0%		250
3-0000-34.9100	OPEN / CLOSE GRAVE FEE	5000	1800	36.0%		5000
TOTAL CHARGES FOR SERVICES		5,250	1,800	34.3%	0	5250
INVESTMENT INCOME						
3-0000-36.1000	INTEREST INCOME	25	52.28	209.1%	75	100
3-0000-38.2000	CEMETERY LOT SALES	0	0	0.0%		0
TOTAL INVESTMENT INCOME		25	52.28	209.1%	75	100
MISCELLANEOUS REVENUE						
3-0000-38.9050	PRIOR YEAR REVENUE	15000	0	0.0%	5425	20425
TOTAL MISCELLANEOUS REVENUE		15,000	0	0.0%	5425	20425
TOTAL CEMETERY FUND		20,275	1,852	9.1%	5,500	25775
TOTAL REVENUES		20,275	1,852	9.1%	5,500	25775
PURCHASED/CONTRACTED SVC						
5-0000-52.2250	MAINTENANCE / REPAIRS EXPENSE	4500	2500	55.6%		4500
TOTAL PURCHASED/CONTRACTED SVC		4,500	2,500	55.6%	0	4500
SUPPLIES						
5-0000-53.1107	BANK/ CREDIT CARD CHARGES	0	0	0.0%		0
5-0000-53.1700	OTHER SUPPLIES	50	5500	11000.0%	5500	5550
TOTAL SUPPLIES		50	5500	11000.0%	5500	5550
CAPITAL OUTLAY						
5-0000-54.1200	CEMETERY IMPROVEMENTS	15000	13200	88.0%		15000
5-0000-54.2500	EQUIPMENT	725	0	0.0%		725
TOTAL CAPITAL OUTLAY		15,725	13,200	83.9%	0	15725
TOTAL CEMETERY FUND		20,275	1,852	9.1%	5,500	25775
TOTAL EXPENDITURES		20,275	21,200	104.6%	5,500	25,775
REVENUE OVER/(UNDER) EXPENDITURES		0	-19,348	0.0%	0	0
NON DEPARTMENTAL						

Hotel/Motel - Main Street - DDA Fund 275		FY23	YTD	Percent	Adjust.	Rev FY 23
Hotel/Motel - Main Street - DDA Fund 275						
TAXES						
3-0000-31.4100	HOTEL / MOTEL TAX	1,250,000	719,470	57.6%		1,250,000
TOTAL TAXES		1,250,000	719,470	57.6%	0	1,250,000
INVESTMENT INCOME						
3-0000-36.1000	INTEREST INCOME	100	37	37.0%		100
TOTAL INVESTMENT INCOME		100	37	37.0%	0	100
MISCELLANEOUS REVENUE						
3-0000-38.9050	PRIOR YEAR REVENUE	166,000	0	0.0%		166,000
3-0000-38.9060	LCI GRANT - ARC	0	0	0.0%		0
3-0000-38.9062	MISCELLANEOUS GRANTS	0	0	0.0%		0
3-0000-38.9080	MISC DONATIONS	100	0	0.0%		100
3-0000-38.9090	MISC INCOME	0	0	0.0%		0
3-7560-34.7400	MARDI-GROWL ADM FEES	0	0	0.0%		0
3-7560-34.7500	CHRISTMAS FOOD SALES	0	0	0.0%		0
3-7560-34.9300	RTN CHECK FEES	0	0	0.0%		0
3-7560-38.9030	DDA DONATIONS	0	0	0.0%		0
TOTAL MISCELLANEOUS REVENUE		166,100	0	0.0%	0	166,100
TOTAL NON DEPARTMENTAL		1,416,200	719,507	50.8%	0	1,416,200
TOTAL REVENUES		1,416,200	719,507	50.8%	0	1,416,200
PURCHASED/CONTRACTED SVC						
5-0000-52.1210	ADMIN FEE - H/M TRANSFER OUT	105,000	52,500	50.0%		105,000
Dept 7520						
5-7520-52.1200	PROFESSIONAL SVCS	0	0	0.0%		0
5-7520-52.1230	LEGAL	0	0	0.0%		0
5-7520-52.3250	I-75 LIGHTING	0	1,544	0.0%		0
5-7520-52.3300	ADVERTISING	0	480	0.0%		0



Hotel/Motel - Main Street - DDA Fund 275	FY23		YTD	Percent	Adjust.	Rev FY 23
5-7520-52.3700	EDUCATION & TRAINING DDA	0	0	0.0%		0
5-7520-52.3970	POSTAGE	0	0	0.0%		0
5-7520-53.1105	OFFICE SUPPLIES	0	0	0.0%		0
5-7520-53.1700	OTHER SUPPLIES	0	0	0.0%		0
5-7520-53.1750	PROMOTIONS	0	0	0.0%		0
5-7520-54.1100	LAND ACQUISITIONS	0	0	0.0%		0
5-7520-54.1300	TRAIN PLATFORM	0	461	0.0%		0
5-7520-54.1400	BANNER PROGRAM	0	0	0.0%		0
5-7520-54.1500	WAYFINDING SIGNS	0	0	0.0%		0
5-7520-57.2300	FURNITURE & FIXTURES	0	0	0.0%		0
5-7520-57.3310	TRAIN LOT NORFOLK SO LEASE	0	466	0.0%		0
	<b>Total 7520</b>	<b>0</b>	<b>2,950</b>	<b>0.0%</b>		<b>0</b>
<b>Dept 7540 TOURISM - (strickethrough reassign to 7550)</b>						
5-7540-51.1100	REGULAR EMPLOYEES	0	21,481	0.0%		0
5-7540-51.2100	GROUP INSURANCE	0	10,265	0.0%		0
5-7540-51.2200	FICA (SOCIAL SECURITY)	0	288	0.0%		0
5-7540-51.2400	RETIREMENT	0	5,743	0.0%		0
5-7540-51.2700	WORKER'S COMPENSATION	0	2,627	0.0%		0
5-7540-51.2750	UNEMPLOYMENT TAX - GEORGIA	0	0	0.0%		0
5-7540-52.1230	LEGAL	500	0	0.0%		500
5-7540-52.1400	DRUG & MEDICAL	0	0	0.0%		0
5-7540-52.2250	OTHER EQUIP. REPAIRS/MAINT	500	0	0.0%		500
5-7540-52.2320	RENTAL EQUIPMENT	3,000	0	0.0%		3,000
5-7540-52.3100	RISK MANAGEMENT	0	3,619	0.0%		0
5-7540-52.3200	COMMUNICATIONS-CELL PHONE	0	242	0.0%		0
5-7540-52.3205	INTERNET	0	0	0.0%		0
5-7540-52.3250	I-75 LIGHTING	10,000	0	0.0%		10,000
5-7540-52.3300	ADVERTISING	20,000	4,839	24.2%		20,000
5-7540-52.3310	PUBLIC NOTICES	0	0	0.0%		0
5-7540-52.3500	TRAVEL-MILE REIMBURSEMENT	0	0	0.0%		0
5-7540-52.3600	DUES & FEES	0	519	0.0%		0
5-7540-52.3700	EDUCATION & TRAINING	0	0	0.0%		0

Hotel/Motel - Main Street - DDA Fund 275		FY23	YTD	Percent	Adjust.	Rev FY 23
5-7540-52.3750	MEETINGS & CONFERENCE	0	920	0.0%		0
5-7540-52.3850	CONTRACTED SERVICES	0	12,672	0.0%		0
5-7540-52.3855	EVENT ENTERTAINMENT CONTRACTS	0	3,700	0.0%		0
5-7540-52.3970	POSTAGE	0	0	0.0%		0
5-7540-53.1105	OFFICE SUPPLIES	0	1,190	0.0%		0
5-7540-53.1107	BANK & CREDIT CARD CHARGES	0	0	0.0%		0
5-7540-53.1160	OPERATING EQUIPMENT	0	0	0.0%		0
5-7540-53.1700	OTHER SUPPLIES	0	38	0.0%		0
5-7540-53.1720	CHRISTMAS DECORATIONS	0	0	0.0%		0
5-7540-53.1729	CITY/ EVENTS	0	0	0.0%		0
5-7540-53.1750	PROMOTIONS	0	229	0.0%		0
5-7540-53.1785	UNIFORMS	0	0	0.0%		0
5-7540-54.2300	FURNITURE & FIXTURES	0	594	0.0%		0
5-7540-54.2400	COMPUTERS	0	0	0.0%		0
5-7540-54.2450	COMPUTER MAINTENANCE	0	0	0.0%		0
5-7540-54.2500	EQUIPMENT	0	0	0.0%		0
	TOTAL PURCHASED/CONTRACTED SVC	34,000	68,967	202.8%	0	34,000
	PURCHASED/CONTRACTED SVC - Tourism (7540)					
5-7540-53.1729	CITY/ EVENTS	0	0	0.0%		0
5-7540-57.3200	PYMT TO CVB	474,000	266,511	56.2%		474,000
5-7540-52.1230	LEGAL	500	0	0.0%		500
	TOTAL PURCHASED/CONTRACTED SVC	474,500	266,511	56.2%	0	474,500
	PAYMENT TO OTHERS					
5-7540-57.3200	PYMT TO CVB	474,000	266,511	56.2%		474,000
	TOTAL PAYMENT TO OTHERS	474,000	266,511	56.2%		474,000
						0
	Total Tourism	508,000	335,478	66.0%	0	508,000

Hotel/Motel - Main Street - DDA Fund 275		FY23	YTD	Percent	Adjust.	Rev FY 23
PERSONAL SVC & EMP BENEFITS - Downtown Development - Main Street						
5-7550-51.1100	REGULAR EMPLOYEES	180,000	28,195	15.7%		180,000
5-7550-51.2100	GROUP INSURANCE	25,000	1,728	6.9%		25,000
5-7550-51.2200	FICA (SOCIAL SECURITY)	1,500	376	25.1%		1,500
5-7550-51.2400	RETIREMENT	10,000	179	1.8%		10,000
5-7550-51.2700	WORKER'S COMPENSATION	6,000	0	0.0%		6,000
5-7550-51.2750	UNEMPLOYMENT TAX - GEORGIA	500	18	3.6%		500
	TOTAL PERSONAL SVC & EMP BEN	223,000	30,496	13.7%		223,000
PURCHASED/CONTRACTED SVC - Downtown Development - Main Street						
5-7550-52.1200	PROFESSIONAL SVCS	17,500	1,736	9.9%		17,500
5-7550-52.1230	LEGAL	1,500	0	0.0%		1,500
5-7550-52.1400	DRUG & MEDICAL	100	0	0.0%		100
5-7550-52.2250	OTHER EQUIP REPAIRS/MAINT	500	0	0.0%		500
5-7550-52.2320	RENTAL EQUIPMENT	0	0	0.0%		0
5-7550-52.3100	RISK MANAGEMENT	4,500	0	0.0%		4,500
5-7550-52.3200	COMMUNICATIONS - CELL PHONE	1,000	0	0.0%		1,000
5-7550-52.3300	ADVERTISING	15,000	5,200	34.7%		15,000
5-7550-52.3310	PUBLIC NOTICES	1,500	0	0.0%		1,500
5-7550-52.3500	TRAVEL-MILEAGE REIMBURSEMENT	500	327	65.4%		500
5-7550-52.3600	DUES & FEES	1,200	0	0.0%		1,200
5-7550-52.3700	EDUCATION & TRAINING DDA	3,500	553	15.8%		3,500
5-7550-52.3750	MEETINGS & CONFERENCE	2,000	1,767	88.4%		2,000
5-7550-52.3850	CONTRACTED SVC(GMA H/M)	10,800	0	0.0%		10,800
5-7550-52.3855	EVENT ENTERTAINMENT CONTRACTS	42,700	2,226	5.2%		42,700
5-7550-52.3970	POSTAGE	0	0	0.0%		0
	TOTAL PURCHASED/CONTRACTED SVC	102,300	11,810	11.5%		102,300
SUPPLIES						
5-7550-53.1105	OFFICE SUPPLIES	2,000	22	1.1%		2,000

Hotel/Motel - Main Street - DDA Fund 275		FY23	YTD	Percent	Adjust.	Rev FY 23
5-7550-53.1107	BANK & CREDIT CARD CHARGES	0	0	0.0%		0
5-7550-53.1160	OPERATING EQUIPMENT	1,500	0	0.0%		1,500
5-7550-53.1700	OTHER SUPPLIES	0	206	0.0%		0
5-7550-53.1720	CHRISTMAS DECORATIONS	25,000	10,882	43.5%		25,000
5-7550-53.1729	CITY EVENTS	75,000	25,150	33.5%		75,000
5-7550-53.1750	PROMOTIONS	15,000	398	2.7%		15,000
5-7550-53.1785	UNIFORMS	600	150	25.0%		600
	TOTAL SUPPLIES	119,100	36,808	30.9%		119,100
	CAPITAL OUTLAY					
5-7550-54.1100	LAND ACQUISITIONS	274,800	0	0.0%		274,800
5-7550-54.1150	FURNITURE & FIXTURES	3,000	0	0.0%		3,000
5-7550-54.1151	CEMETERY IMPROVEMENTS	0	0	0.0%		0
5-7550-54.1300	TRAIN PLATFORM	22,000	0	0.0%		22,000
5-7550-54.1400	BANNER PROGRAM	20,000	1,073	5.4%		20,000
5-7550-54.1500	WAYFINDING SIGNS	10,000	0	0.0%		10,000
5-7550-54.2400	COMPUTERS	3,000	1,326	44.2%		3,000
	TOTAL CAPITAL OUTLAY	332,800	2,400	0.7%		332,800
	PAYMENT TO OTHERS					
5-7550-57.3300	PARHAM PARKING LOT LEASE	5,000	4,800	96.0%		5,000
5-7550-57.3310	NORFOLK SOUTHERN LOT LEASE	500	0	0.0%		500
	TOTAL PAYMENT TO OTHERS	5,500	4,800	87.3%		5,500
	TOTAL ECONOMIC DEVELOPMENT	782,700	86,314	11.0%		782,700
	TOTAL Tourism and DD-Main Street	1,290,700	421,792	32.7%		1,290,700
	TOTAL EXPENDITURES	1,290,700	424,742	32.9%		1,290,700
	REVENUE OVER/(UNDER) EXPENDITURES	125,500	294,765	0.0%		125,500

SPLOST (IV and V)		Current	YTD	Percent	Adjust.	Rev FY 23
REVENUES						
3-0000-31.3200	SPLOST V PROCEEDS	0	0	0.0%		0
3-0000-36.1000	INTEREST INCOME	1,730	24,216	1399.8%	30000	31,730
3-0000-36.1100	INTEREST REVENUE SPLOST 3	0	0	0.0%		0
3-0000-38.9000	MISCELLANEOUS REVENUE	0	0	0.0%		0
3-0000-38.9050	PRIOR YEAR REVENUE	2,312,000	0	0.0%		2,312,000
3-0000-39.1100	SPLOST BOND PROCEEDS	0	0	0.0%		0
3-0000-39.1200	COUNTY SPLOST IV PROCEEDS	0	0	0.0%		0
3-0000-39.1201	SPLOST V REVENUE	1,000,000	394,120	39.4%	-150000	850,000
TOTAL REVENUES		3,313,730	418,337	12.6%	-120,000	3,193,730
5-1510-53.1107	BANK & CREDIT CARD CHARGES	120	60	50.0%		120
Total Supplies		120	60	50.0%	0	120
CAPITAL OUTLAY						
PUBLIC BUILDINGS						
5-1510-54.1100	ACQUISTION OF PROPERTY	0	0	0.0%		0
5-1510-54.1302	BUILDING IMPROVEMENTS	0	0	0.0%		0
5-1510-54.1303	CONST/RENOV MUNICIPAL BLDG	576,250	29,443	5.1%		576,250
TOTAL PUBLIC BLDGS		576,250	29,443	5.1%	0	576,250
5-3230-54.1350	PUBLIC SAFETY FACILITIES/EQUIP	0	0	0.0%		0
TOTAL PUBLIC SAFETY		0	0	0.0%	0	0
ROADS AND BRIDGES						
5-4210-52.3851	CONTRACT SERVICES	0	0	0.0%		0
5-4210-54.1401	ROADS BRIDGES SIDEWALKS ETC.	22,000	6,255	28.4%		22,000
5-4210-54.1404	TANGER BLVD PROJECT	0	0	0.0%		0
5-4210-54.1405	BILL GARDNER IMP PROJECT	2,067,360	6,338	0.3%		2,067,360
5-4210-54.1406	SIGNAL @ MARKET PLACE	78,000	77,895	99.9%		78,000
5-4210-54.1407	HWY 42 EXTRA LANE	0	0	0.0%		0
5-4210-54.1408	RESURFACING STREETS	320,000	0	0.0%	-170000	150,000
5-4210-54.1501	PEEKSVILLE CNNCTR SPLOST V CLE	0	0	0.0%		0
5-4210-54.1502	SR 42 EXTRA LANE BGP TO MKTPLC	150,000	0	0.0%	50000	200,000
5-4210-54.1503	PEEKSVILLE RD.-PEDESTRIAN IMPR	0	0	0.0%		0
5-4210-54.1504	SR 42 & BETHLEHEM RD SIGNAL	100,000	0	0.0%		100,000
5-4210-54.1505	BICYCLE SHARED USE AREAS	0	0	0.0%		0
TOTAL ROADS/BRIDGES		2,737,360	90,487	3.3%	-120000	2,617,360
PARKS AND RECREATION						
5-6220-54.1402	PARKS & RECREATION FACILITIES	0	0	0.0%		0
5-6220-54.1410	TANGER SOFTBALL FIELDS	0	0	0.0%		0
TOTAL PARKS AND REC		0	0	0.0%	0	0
TOTAL OTHER USES						
5-8000-58.1201	SPLOST BOND PYMT PRINCIPAL	0	0	0.0%		0
5-8000-58.2201	SPLOST BOND PYMTS INTEREST	0	0	0.0%		0
TOTAL OTHER SOURCES/USES		0	0	0.0%	0	0
TOTAL REVENUES		3,313,730	418,337	12.6%	-120,000	3,193,730
TOTAL EXPENDITURES		3,313,730	119,990	3.6%	-120,000	3,193,730
REVENUE OVER/(UNDER) EXPENDITURES		0	298,347	0.0%	0	0

TSPLOST						
		FY23	YTD	Percent	Adjust.	Rev FY 23
<b>TOTAL REVENUES</b>						
3-0000-31.3200	T-SPLOST PROCEEDS	1,100,000	331,191	30.1%		1,100,000
3-0000-31.3400	TSPLOST PROCEEDS	0	0	0.0%		-
3-0000-36.1000	T-SPLOST INTEREST	0	0	0.0%	35,000	35,000
3-0000-38.9050	PRIOR YEAR REVENUE	6,000,000	0	0.0%	178,000	6,178,000
3-0000-39.1100	T-SPLOST BOND PROCEEDS	0	0	0.0%		-
3-0000-39.3100	T-SPLOST BOND PROCEEDS	0	0	0.0%		-
3-0000-39.3400	PREMIUMS ON BONDS ISSUED	0	0	0.0%		-
5-0000-58.4000	BOND ISSUANCE COSTS	0	0	0.0%		-
TBA	Reimbursement from GF	0	0	0.0%	252,000	252,000
** TOTAL REVENUES **	Total Revenues	7,100,000	331,191	4.7%	465,000	7,565,000
<b>CONTRACTED SVCS</b>						
5-0000-58.4000	BOND ISSUANCE COSTS	0	0	0.0%		-
5-1510-52.1230	LEGAL	0	0	0.0%		-
TOTAL CONTRACTED SVCS		-	-	0.0%	-	-
<b>SUPPLIES</b>						
5-1510-53.1107	BANK AND CREDIT CARD CHARGES	2,500	1,156	46.2%		2,500
TOTAL SUPPLIES		2,500	1,156	46.2%	-	2,500
<b>CAPITAL OUTLAY</b>						
5-1510-54.1100	ACQUISITION OF PROPERTY	1,500,000	0	0.0%		1,500,000
5-4210-54.1401	TARGETED PAVING	1,350,000	1,115,379	82.6%		1,350,000
5-4210-54.1402	SR 42 & BILL GARD CONGESTION	2,000,000	18,500	0.9%		2,000,000
5-4210-54.1403	BILL GARDNER IMPROVEMENTS	250,000	307,239	122.9%	250,000	500,000
5-4210-54.1404	SR 42 EXTRA LANE	400,000	0	0.0%	185,000	585,000
5-4210-54.1405	BETHLEHEM SIGNAL STUDY	0	0	0.0%		-
5-4210-54.1406	BIKEWAY/PEDESTRIAN	200,000	0	0.0%		200,000
TOTAL CAPITAL OUTLAY		5,700,000	1,441,118	25.3%		5,700,000
TOTAL STREET MAINTENANCE		5,700,000	1,441,118	25.3%	435,000	6,135,000
<b>OTHER SOURCES/USES</b>						
5-8000-58.1201	T-SPLOST BOND PMT PRINCIPAL	1,200,000	1,230,000	102.5%	30,000	1,230,000
5-8000-58.2201	T-SPLOST BOND PYMT INTEREST	200,000	173,875	86.9%		200,000
TOTAL OTHER SOURCES/USES		1,400,000	1,403,875	100.3%	30,000	1,430,000
<b>TOTAL EXPENDITURES</b>						
REVENUE & OTHER SOURCES OVER/ (UNDER) EXPENDITURES & OTHER USES		-	(2,513,801)		-	-

Development Impact Fees						
		FY23	YTD	Percent	Adjust.	Rev FY 23
NON-DEPARTMENTAL						
INVESTMENT INCOME						
3-0000-36.1000	INTEREST PD	2000	2,651	132.5%	3,500	5,500
3-0000-36.1100	INTEREST PAID TO CDS	0	-	0.0%	-	-
TOTAL INVESTMENT INCOME		2,000	2,651	132.5%	3,500	5,500
MISCELLANEOUS REVENUE						
3-0000-38.9900	PRIOR YEAR REVENUE	0	-	0.0%	75,000	75,000
TOTAL MISCELLANEOUS REVENUE		-	-	0.0%	75,000	75,000
TOTAL NON-DEPARTMENTAL		2,000	2,651	132.5%	78,500	80,500
ADMINISTRATION						
CHARGES FOR SERVICES						
3-1510-34.6950	ADMINISTRATIVE FEE	30000	6,749	22.5%	(20,000)	10,000
TOTAL CHARGES FOR SERVICES		30,000	6,749	22.5%	(20,000)	10,000
INVESTMENT INCOME						
3-1510-36.1000	ADMINISTRATIVE INTEREST	10	-	0.0%	-	10
TOTAL INVESTMENT INCOME		10	-	0.0%	-	10
TOTAL ADMINISTRATION		30,010	6,749	22.5%	(20,000)	10,010
CIE PREP						
CHARGES FOR SERVICES						
3-2500-34.6954	CIE PREP FUND	3000	1,671	55.7%	-	3,000
TOTAL CHARGES FOR SERVICES		3,000	1,671	55.7%	-	3,000
INVESTMENT INCOME						
3-2500-36.1000	CIE INTEREST	10	-	0.0%	-	10
TOTAL INVESTMENT INCOME		10	-	0.0%	-	10
TOTAL CIE PREP		3,010	1,671	55.5%	-	3,010
POLICE DEPARTMENT						
CHARGES FOR SERVICES						
3-3230-34.6951	POLICE DEPARTMENT FUND	70000	8,277	11.8%	(52,250)	17,750
TOTAL CHARGES FOR SERVICES		70,000	8,277	11.8%	(52,250)	17,750
INVESTMENT INCOME						
3-3230-36.1000	POLICE DEPARTMENT INTEREST	50	-	0.0%	-	50
TOTAL INVESTMENT INCOME		50	-	0.0%	-	50
TOTAL POLICE DEPARTMENT		70,050	8,277	11.8%	(52,250)	17,800
STREET DEPARTMENT						
CHARGES FOR SERVICES						
3-4210-34.6953	STREET/ROAD DEPT FUND	107000	56,148	52.5%	-	107,000
TOTAL CHARGES FOR SERVICES		107,000	56,148	52.5%	-	107,000
INVESTMENT INCOME						
3-4210-36.1000	STREET/ROAD DEPT INTEREST	50	-	0.0%	-	50
TOTAL INVESTMENT INCOME		50	-	0.0%	-	50
TOTAL STREET DEPARTMENT		107,050	56,148	52.5%	-	107,050
PARK & RECREATION						
CHARGES FOR SERVICES						



3-6220-34.6952	PARK/RECREATION FUND	225000	160,508	71.3%		225,000
TOTAL CHARGES FOR SERVICES		225,000	160,508	71.3%		225,000
INVESTMENT INCOME						
3-6220-36.1000	PARK/RECREATION INTEREST	50	-	0.0%		50
TOTAL INVESTMENT INCOME		50	-	0.0%		50
TOTAL PARK & RECREATION		225,050	160,508	71.3%		225,050
TOTAL REVENUES		437,170	236,004	54.0%	6,250	443,420
PURCHASED/CONTRACTED SVC				0.0%		
5-1510-52.1200	ADMIN PROFESSIONAL SERVICES	5,000.00	-	0.0%	(5,000)	-
TOTAL PURCHASED/CONTRACTED SVC		5,000	-	0.0%	(5,000)	-
SUPPLIES				0.0%		
5-1510-53.1107	ADMIN BANK CHARGES	0	-	0.0%		-
TOTAL SUPPLIES		-	-	0.0%		-
TOTAL ADMINISTRATION		5,000	-	0.0%	(5,000)	-
PURCHASED/CONTRACTED SVC				0.0%		
5-2500-52.1200	CIE PROFESSIONAL SERVICES	70000	-	0.0%	10,000	80,000
TOTAL PURCHASED/CONTRACTED SVC		70,000	-	0.0%	10,000	80,000
TOTAL CIE PREP		70,000	-	0.0%	10,000	80,000
CAPITAL OUTLAY				0.0%		
5-3230-54.1302	POLICE DEPT BUILDING	39000	-	0.0%		39,000
TOTAL CAPITAL OUTLAY		39,000	-	0.0%		39,000
TOTAL POLICE DEPARTMENT		39,000	-	0.0%		39,000
PURCHASED/CONTRACTED SVC				0.0%		
5-4210-52.2260	STREET/ROAD PAVING & FIXTURES	172000	-	0.0%		172,000
TOTAL PURCHASED/CONTRACTED SVC		172,000	-	0.0%		172,000
TOTAL STREET DEPARTMENT		172,000	-	0.0%		172,000
PURCHASED/CONTRACTED SVC				0.0%		
5-6220-52.1200	PARK/RECREATION PROF SVC	1000	-	0.0%	(1,000)	-
5-6220-52.1250	PARK IMPRVMTS-TANGER WALKING	25000	-	0.0%		25,000
TOTAL PURCHASED/CONTRACTED SVC		26,000	-	0.0%		26,000
CAPITAL OUTLAY				0.0%		
5-6220-54.1100	PARKS & RECS CAPITAL SHARE	112500	-	0.0%	1,250	113,750
5-6220-54.1250	TANGER WALKING PARK	0	-	0.0%		-
5-6220-54.1300	BUILDINGS/COMMUNITY CENTER	0	-	0.0%		-
5-6220-54.1302	PARK/RECREATION EQUIPMENT	12670	-	0.0%		12,670
TOTAL CAPITAL OUTLAY		125,170	-	0.0%	1,250	126,420
TOTAL PARK & RECREATION		151,170	-	0.0%	1,250	152,420
TOTAL EXPENDITURES		437,170	-	0.0%	6,250	443,420
REVENUE OVER/(UNDER) EXPENDITURES		-	236,004	0.0%	-	-

Water/Sewer Utilities 505/506		FY23 (latest)	YTD	Percent	Adjust.	Rev FY 23
NON-DEPARTMENTAL				0.0%		
MISCELLANEOUS REVENUE				0.0%		
3-0000-38.9050	PRIOR YEAR REVENUE	1,854,300	-	0.0%	-381177	1,473,123
TOTAL MISCELLANEOUS REVENUE		1,854,300	-	0.0%	-381177	1,473,123
TOTAL NON-DEPARTMENTAL		1,854,300	-	0.0%	-381177	1,473,123
SEWER DEPARTMENT						
Revenues - Total						
3-4330-34.4255	SEWER CHARGES	2,475,000	1,307,075	52.8%		2,475,000
3-4330-34.4256	SEWER LINE INSPECTIONS	100	-	0.0%		100
3-4330-34.4260	SLUDGE GREEN ROCK	85,000	7,394	8.7%		85,000
3-4330-34.6902	SEWER TAP FEES	40,000	26,325	65.8%		40,000
3-4330-34.6904	SEWER IMPACT FEES	405,000	222,962	55.1%		405,000
3-4330-34.6920	ARPA DESIGNATED FUNDS	-	-	0.0%		-
3-4330-34.6950	PENALTIES	25,000	18,737	74.9%		25,000
3-4330-34.6995	MISCELLANEOUS REV	-	993	0.0%		-
3-4330-36.1000	INTEREST REVENUE	5,500	3,993	72.6%		5,500
<b>TOTAL SEWER DEPARTMENT</b>		<b>4,519,040</b>	<b>1,587,478</b>	<b>35.1%</b>	<b>(190,589)</b>	<b>4,214,098</b>
WATER DEPARTMENT						
CHARGES FOR SERVICES						
3-4420-34.4210	WATER CHARGES	2,300,000	1,439,604	62.6%		2,300,000
3-4420-34.4215	WATER LINE INSP	100	-	0.0%		100
3-4420-34.4220	WATER METER REINSPECTIONS	100	-	0.0%		100
3-4420-34.4425	METER MAINTENANCE FEE	125,000	86,921	69.5%		125,000
3-4420-34.6901	TAP FEES	65,000	45,980	70.7%		65,000
3-4420-34.6903	WATER IMPACT FEES	429,200	231,084	53.8%		429,200
3-4420-34.6920	ARPA DESIGNATED FUNDS	-	-	0.0%		-
3-4420-34.6950	PENALTIES	33,000	24,294	73.6%		33,000
3-4420-34.6963	RECONNECT FEES	45,000	20,600	45.8%		45,000

3-4420-34.6964	PHONE CC FEE	-	-	0.0%	-	-
3-4420-34.6995	MISCELLANEOUS	3,500	869	24.8%	3,500	3,500
3-4420-34.9300	BAD CHECK FEES	1,000	630	63.0%	1,000	1,000
3-4420-36.1000	INTEREST REVENUES	5,500	3,592	65.3%	5,500	5,500
3-4420-37.1000	CONTRIBUTED CAPITAL	-	-	0.0%	-	-
3-4420-38.1000	RENTS & ROYALTIES	18,000	-	0.0%	18,000	18,000
<b>TOTAL WATER DEPARTMENT</b>		<b>3,396,260</b>	<b>1,853,575</b>	<b>54.6%</b>	<b>(76,235)</b>	<b>3,320,025</b>
<b>TOTAL REVENUES (includes 50% Prior Year)</b>		<b>7,915,300</b>	<b>3,441,054</b>	<b>43.5%</b>	<b>-648,001</b>	<b>7,267,299</b>
PERSONAL SVC & EMP BEN						
5-4330-51.1100	REGULAR EMPLOYEES	275,000	127,002	46.2%	-25000	250,000
5-4330-51.1300	OVERTIME	25,000	14,451	57.8%		25,000
5-4330-51.2100	GROUP INSURANCE	33,000	13,561	41.1%		33,000
5-4330-51.2200	FICA (SOCIAL SECURITY)	2,750	1,978	71.9%		2,750
5-4330-51.2400	RETIREMENT	32,500	18,957	58.3%	-7500	25,000
5-4330-51.2700	WORKER'S COMPENSATION	8,000	7,882	98.5%		8,000
5-4330-51.2750	UNEMPLOYMENT TAX - GEORGIA	1,000	-	0.0%		1,000
<b>TOTAL PERSONAL SVC &amp; EMP BEN</b>		<b>377,250</b>	<b>183,831</b>	<b>48.7%</b>	<b>(32,500)</b>	<b>344,750</b>
PURCHASED/CONTRACTED SVC						
5-4330-52.1200	PROFESSIONAL	5,000	-	0.0%		5,000
5-4330-52.1205	PROFESSIONAL SERVICES	35,000	24,958	71.3%		35,000
5-4330-52.1210	ADMIN FEE - SEWER TRANSFER OUT	355,000	265,000	74.6%		355,000
5-4330-52.1230	LEGAL	500	-	0.0%		500
5-4330-52.1250	ENGINEERING	300,000	75,281	25.1%	-50000	250,000
5-4330-52.1300	TECHNICAL SERVICES	-	-	0.0%		-
5-4330-52.1400	DRUG & MEDICAL	1,000	-	0.0%		1,000
5-4330-52.2200	INTEREST JD EXC & FREIGHTLINER	-	-	0.0%		-
5-4330-52.2210	AUTO / TRUCK EXPENSES	6,000	3,677	61.3%		6,000
5-4330-52.2211	AUTO GAS & FUEL	15,500	6,931	44.7%		15,500
5-4330-52.2212	CAR ALLOWANCE	-	-	0.0%		-
5-4330-52.2240	BUILDING & GROUNDS	17,500	8,596	49.1%		17,500
5-4330-52.2250	PLANT EQUIP REPAIRS/MAINT	250,000	330,027	132.0%	250000	500,000
5-4330-52.2255	SEW COLLECTION EQUIP REPAIRS/M	275,000	236,991	86.2%		275,000
5-4330-52.2256	REPAIRS TO SEWER LINES	175,000	-	0.0%	-75000	100,000
5-4330-52.2330	EQUIPMENT LEASING	17,000	37,803	222.4%	37500	54,500
5-4330-52.3100	RISK MANAGEMENT INSURANCE	7,500	10,858	144.8%	5000	12,500

FY 23 Budget Enterprise Fund(s) 505/506

Sewer (4330) / Water (4420)

	4,000	4,520	113.0%	2500	6,500
5-4330-52.3200	COMMUNICATION CELL PHONES				
5-4330-52.3201	TELEPHONE	-	0.0%		-
5-4330-52.3205	INTERNET	-	0.0%		-
5-4330-52.3310	PUBLIC NOTICES	1,000	38.6%	386	1,000
5-4330-52.3600	DUES & FEES	5,000	58.5%	2,923	5,000
5-4330-52.3601	FINES AND PENALTIES	5,000	0.0%	-	5,000
5-4330-52.3700	EDUCATION & TRAINING	10,000	39.9%	3,991	10,000
5-4330-52.3857	WASTE WATER TESTS	25,000	109.8%	27,461	32,500
5-4330-52.3858	CHEMICALS WASTEWATER	95,000	66.2%	62,876	95,000
5-4330-52.3862	SLUDGE REMOVAL	100,000	62.6%	62,571	100,000
5-4330-52.3970	POSTAGE	7,500	43.9%	3,292	7,500
TOTAL PURCHASED/CONTRACTED SVC		1,712,500	68.2%	1,168,142	1,890,000
SUPPLIES					
5-4330-53.1105	OFFICE SUPPLIES	1,500	20.9%	314	1,500
5-4330-53.1107	BANK & CREDIT CARD CHARGES	250	0.0%	-	250
5-4330-53.1150	OPERATING SUPPLIES	30,000	36.0%	10,807	30,000
5-4330-53.1161	LAB SUPPLIES	20,000	67.5%	13,491	20,000
5-4330-53.1205	UTILITIES	225,000	84.7%	190,573	250,000
5-4330-53.1210	STORMWATER FEES	2,000	0.0%	-	2,000
5-4330-53.1700	OTHER SUPPLIES	500	0.0%	-	500
5-4330-53.1775	REPAIR DAMAGE PROPERTY	-	0.0%	-	0
5-4330-53.1785	UNIFORMS	5,500	51.7%	2,846	5,500
5-4330-53.1786	BOOT ALLOWANCE	600	0.0%	-	600
5-4330-53.1795	MISCELLANEOUS	-	0.0%	-	0
TOTAL SUPPLIES		285,350	76.4%	218,031	310,350
CAPITAL OUTLAY					
5-4330-54.1202	ABANDON SKYLAND WPCP	-	0.0%	-	-
5-4330-54.1203	ABANDON WEST POND	-	0.0%	-	-
5-4330-54.1420	INDIAN CREEK WPCP	400,000	37.2%	148,887	200,000.00
5-4330-54.1421	CLUB DR LIFT STATION	325,000	0.0%	-	300,000.00
5-4330-54.1422	MARKET PLACE SEWER EXTENSION	325,000	0.0%	-	300,000.00
5-4330-54.1423	DAVIS LAKE LINE EXT - NEW	-	0.0%	-	-
5-4330-54.1424	SEWER SYST. IMPROVE SWR LINES	225,000	0.0%	-	200,000.00
5-4330-54.2130	SCADA SYSTEM	150,000	14.5%	21,824	50,000.00
5-4330-54.2200	VEHICLES	50,000	0.0%	-	50,000.00

5-4330-54.2251	CAPITAL LEASE 2019 JD EXCAVATO	-	-	0.0%	-	-
5-4330-54.2400	COMPUTERS	1,500	-	0.0%	-	1,500.00
5-4330-54.2450	COMPUTER MAINTENANCE	-	-	0.0%	-	-
5-4330-54.2500	EQUIPMENT	1,476,500	170,711	11.6%	(375,000)	1,101,500.00
<b>TOTAL CAPITAL OUTLAY</b>		<b>1,476,500</b>	<b>170,711</b>	<b>11.6%</b>	<b>(375,000.00)</b>	<b>1,101,500.00</b>
<b>DEPRECIATION &amp; AMORT</b>						
<b>TOTAL DEPRECIATION &amp; AMORT</b>			-	0.0%	-	0
5-4330-56.1000	DEPRECIATION	-	-	0.0%	-	-
<b>DEBT SERVICE</b>						
5-4330-57.4000	BAD DEBT	-	-	0.0%	-	0
5-4330-57.9000	CONTINGENCIES	25,000	-	0.0%	-	25,000
5-4330-58.1207	W&S BOND PRINCIPAL	400,000	614,521	153.6%	250000	650,000
5-4330-58.2207	W/S BOND INTEREST	40,000	45,267	113.2%	15000	55,000
<b>TOTAL DEBT SERVICE</b>		<b>465,000</b>	<b>659,788</b>	<b>141.9%</b>	<b>265,000</b>	<b>730,000</b>
<b>TOTAL SEWER DEPARTMENT</b>		<b>4,316,600</b>	<b>2,400,502</b>	<b>55.6%</b>	<b>60,000</b>	<b>4,376,600</b>
<b>Total Sewer Revenues</b>		<b>4,519,040</b>	<b>1,587,478</b>		<b>(190,589)</b>	<b>4,328,452</b>
<b>Total Over/(Under) Revenues</b>		<b>202,440</b>	<b>(813,023)</b>		<b>(250,589)</b>	<b>(48,148.50)</b>
<b>PERSONAL SVC &amp; EMP BEN</b>						
5-4420-51.1100	REGULAR EMPLOYEES	325,000	114,396	35.2%	-100000	225,000
5-4420-51.1300	OVERTIME	10,000	8,180	81.8%	-	10,000
5-4420-51.2100	GROUP INSURANCE	30,000	14,734	49.1%	-5000	25,000
5-4420-51.2200	FICA (SOCIAL SECURITY)	3,000	1,726	57.5%	-	3,000
5-4420-51.2400	RETIREMENT	18,500	10,764	58.2%	-2500	16,000
5-4420-51.2700	WORKER'S COMPENSATION	5,000	3,941	78.8%	-	5,000
5-4420-51.2750	UNEMPLOYMENT TAX - GEORGIA	1,000	-	0.0%	-	1,000
<b>TOTAL PERSONAL SVC &amp; EMP BEN</b>		<b>392,500</b>	<b>153,739</b>	<b>39.2%</b>	<b>(107,500)</b>	<b>285,000</b>
<b>PURCHASED/CONTRACTED SVC</b>						
5-4420-52.1200	PROFESSIONAL	5,000	-	0.0%	-	5,000
5-4420-52.1210	ADMIN FEE - WATER TRANSFER OUT	450,000	127,500	28.3%	-	450,000
5-4420-52.1230	LEGAL	1,000	-	0.0%	-	1,000
5-4420-52.1250	ENGINEERING	35,000	13,512	38.6%	-	35,000



FY 23 Budget		Enterprise Fund(s) 505/506		Sewer (4330) / Water (4420)	
5-4420-52.1300	TECHNICAL SERVICES	-	-	0.0%	0
5-4420-52.1400	DRUG & MEDICAL	500	-	0.0%	500
5-4420-52.2210	AUTO / TRUCK EXPENSE	20,000	3,715	18.6%	15,000
5-4420-52.2211	AUTO GAS & FUEL	15,000	10,139	67.6%	15,000
5-4420-52.2240	BUILDING & GROUNDS	3,000	3,507	116.9%	5,500
5-4420-52.2250	TREATMENT - REPAIRS & MAINT.	60,000	3,827	6.4%	40,000
5-4420-52.2256	DISTRIBUTION REPAIR WATER LIN	95,000	45,902	48.3%	90,000
5-4420-52.2257	REPAIR / MAINTENANCE TANKS	75,000	26,222	35.0%	75,000
5-4420-52.2258	WELL REPAIRS	45,000	6,708	14.9%	30,000
5-4420-52.2320	RENTAL EQUIP / VEHICLE	1,000	-	0.0%	1,000
5-4420-52.3100	RISK MANAGEMENT INSURANCE	7,000	5,429	77.6%	7,000
5-4420-52.3200	COMMUNICATION CELL PHONES	2,500	2,147	85.9%	3,500
5-4420-52.3201	TELEPHONE	-	-	0.0%	0
5-4420-52.3205	INTERNET	-	-	0.0%	0
5-4420-52.3310	PUBLIC NOTICES	-	-	0.0%	0
5-4420-52.3600	DUES & FEES	5,000	2,774	55.5%	5,000
5-4420-52.3700	EDUCATION & TRAINING	5,000	-	0.0%	3,000
5-4420-52.3750	MEETINGS & CONFERENCES	1,000	-	0.0%	1,000
5-4420-52.3855	DRINKING WATER FEES CONTRACT	25,000	10,527	42.1%	25,000
5-4420-52.3856	WATER TESTING	10,000	892	8.9%	10,000
5-4420-52.3859	CHEMICALS FOR WATER	30,000	20,378	67.9%	30,000
5-4420-52.3970	POSTAGE	1,000	12	1.2%	1,000
TOTAL PURCHASED/CONTRACTED SVC		892,000	283,190	31.7%	848,500
SUPPLIES					(43,500)
5-4420-53.1105	OFFICE SUPPLIES	2,000	912	45.6%	2,000
5-4420-53.1107	BANK & CREDIT CARD CHARGES	1,200	-	0.0%	1,200
5-4420-53.1150	OPERATING SUPPLIES	45,000	11,348	25.2%	35,000
5-4420-53.1160	OPERATING EQUIPMENT	-	57,619	0.0%	85,000
5-4420-53.1205	UTILITIES	50,000	23,088	46.2%	50,000
5-4420-53.1210	STORM WATER FEES	1,200	-	0.0%	1,200
5-4420-53.1510	INV PCH WATER FOR RESALE	500,000	292,319	58.5%	500,000
5-4420-53.1700	OTHER SUPPLIES	-	-	0.0%	0
5-4420-53.1775	REPAIR DAMAGE PROPERTY	-	-	0.0%	0
5-4420-53.1785	UNIFORMS	5,000	3,015	60.3%	5,000
5-4420-53.1786	BOOT ALLOWANCE	600	-	0.0%	600
5-4420-53.1795	MISCELLANEOUS	-	-	0.0%	0

FY 23 Budget		Enterprise Fund(s) 505/506		Sewer (4330) / Water (4420)	
TOTAL SUPPLIES		605,000	388,301	64.2%	75,000
CAPITAL OUTLAY					
5-4420-54.1430	TEST WELLS	-	-	0.0%	0
5-4420-54.1440	WATER TANK DEVELOPMENT	-	-	0.0%	0
5-4420-54.1442	WELL DEVELOPMENT	-	-	0.0%	0
5-4420-54.1445	WATER SYSTEM IMPROVEMENTS	295,000	317,049	107.5%	345,000
5-4420-54.2110	NEW METER INSTALLATIONS	225,000	4,653	2.1%	25,000
5-4420-54.2120	RADIO READ SYSTEM	150,000	-	0.0%	140,000
5-4420-54.2130	SCADA SYSTEM	25,000	-	0.0%	25,000
5-4420-54.2200	VEHICLES	50,000	-	0.0%	50,000
5-4420-54.2400	COMPUTERS	1,200	-	0.0%	1,200
5-4420-54.2450	COMPUTER MAINTENANCE	-	-	0.0%	0
5-4420-54.2500	EQUIPMENT	25,000	-	0.0%	25,000
TOTAL CAPITAL OUTLAY		771,200	321,701	41.7%	611,200
TOTAL DEPRECIATION & AMORT					
PAYMENT TO OTHERS					
5-4420-56.1000	DEPRECIATION	-	-	0.0%	0
5-4420-56.1100	AMORTIZATION EXPENSE	-	-	0.0%	0
5-4420-57.1000	SDS HCWA IF	215,000	23,100	10.7%	215,000
TOTAL PAYMENT TO OTHERS		-	-	0.0%	0
DEBT SERVICE					
5-4420-57.4000	BAD DEBTS	-	-	0.0%	0
5-4420-57.900	CONTINGENCIES	25,000	-	0.0%	25,000
5-4420-58.1208	W/S BOND PRINCIPAL	225,000	330,896	147.1%	400,000
5-4420-58.2208	W&S BOND INTEREST	66,000	24,375	36.9%	41,000
TOTAL DEBT SERVICE		316,000	355,270	112.4%	466,000
TOTAL WATER DEPARTMENT		2,976,700	1,502,202	50.5%	2,890,700
Total Water Revenues		3,396,260	1,853,575		3,320,025
Revenues Over/(Under) Exp		419,560	351,373		429,325
TOTAL EXPENDITURES		7,293,300	3,902,704	53.5%	7,267,300

FY 23 Budget	Enterprise Fund(s) 505/506		Sewer (4330) / Water (4420)			
TOTAL REVENUES		7,915,300	3,441,054	43.5%	-648,001	7,267,299
REVENUE OVER/(UNDER) EXPENDITURES		622,000	(461,650)		-622,001	-1

Sanitation Fund 540		Original 23	YTD	25% of FY	Amend	Rev FY 23
<b>Sanitation Fund 540</b>						
NON-DEPARTMENTAL						
CHARGES FOR SERVICES						
3-0000-34.4101	RESIDENTIAL SANITATION	734,500	441,538	60.1%		734,500
3-0000-34.4102	COMMERCIAL SANITATION	12,500	7,657	61.3%		12,500
3-0000-34.4103	CHIPPING FEES	500	-	0.0%		500
3-0000-34.4150	COLLECTION SITE FEES	20,000	5,660	28.3%	-5000	15,000
TOTAL CHARGES FOR SERVICES		767,500	454,855	59.3%	(5,000)	762,500
MISCELLANEOUS REVENUE						
3-0000-34.4160	RECYCLE PROCEEDS	5,000	477	9.5%	-2500	2,500
TOTAL MISCELLANEOUS REVENUE		5,000	477	9.5%	(2,500)	2,500
OTHER FINANCIAL SOURCES						
3-0000-34.4190	SANITATION OTHER CHARGES	-	-	0.0%		-
3-0000-38.9050	PRIOR YEAR REVENUE	-	-	0.0%	56000	56,000
3-0000-39.1100	OPERATING TRANSFER	-	-	0.0%		-
3-0000-64.6950	SANITATION PENALTIES	10,000	6,270	62.7%		10,000
TOTAL OTHER FINANCIAL SOURCES		10,000	6,270	62.7%	56,000	56,000
TOTAL NON-DEPARTMENTAL		782,500	461,602	59.0%	48,500	821,000
TOTAL REVENUES		782,500	461,602	59.0%	48,500	821,000
PERSONAL SVC & EMP BEN						
5-0000-51.1100	REGULAR EMPLOYEES	100,000	42,239	42.2%	-10000	90,000
5-0000-51.1300	OVERTIME	5,000	2,792	55.8%	-1000	4,000
5-0000-51.2100	GROUP INSURANCE	5,000	881	17.6%	-1500	3,500
5-0000-51.2200	FICA (SOCIAL SECURITY)	1,000	642	64.2%		1,000
5-0000-51.2400	RETIREMENT	6,000	6,623	110.4%	1500	7,500
5-0000-51.2700	WORKER'S COMPENSATION	3,000	2,627	87.6%		3,000
5-0000-51.2750	UNEMPLOYMENT TAX - GEORGIA	500	3	0.7%		500
TOTAL PERSONAL SVC & EMP BEN		120,500	55,806	46.3%	(11,000)	109,000
PURCHASED/CONTRACTED SVC						
5-0000-52.1210	ADMIN FEE - SANIT TRANSFER OUT	10,000	5,000	50.0%		10,000
5-0000-52.1400	DRUG & MEDICAL	500	-	0.0%		500
5-0000-52.2210	AUTO/TRUCK EXPENSES	7,500	3,547	47.3%		7,500
5-0000-52.2211	AUTO GAS & FUEL	5,000	4,165	83.3%	1500	6,500
5-0000-52.2240	BUILDING & GROUNDS	2,500	-	0.0%		2,500
5-0000-52.2250	OTHER EQUIP. REPAIRS/MAINT	10,000	-	0.0%	-2500	7,500
5-0000-52.3100	RISK MANANGEMENT INSURANCE	6,000	3,619	60.3%		6,000
5-0000-52.3101	LIABILITY & COMPUTER MAINT.	-	-	0.0%		-
5-0000-52.3200	COMMUNICATION CELL PHONE	1,000	449	44.9%		1,000
5-0000-52.3205	INTERNET	-	-	0.0%		-
5-0000-52.3310	PUBLIC NOTICES	-	-	0.0%		-
5-0000-52.3600	DUES & FEES	250	99	39.7%		250
5-0000-52.3700	EDUCATION & TRAINING	500	-	0.0%		500
5-0000-52.3860	SANITATION CONTRACT	495,750	350,362	70.7%		495,750
5-0000-52.3861	TIPPING FEE FOR LANDFILL	35,000	16,913	48.3%		35,000
5-0000-52.3862	ROLLOFF COLLECTIONS	5,000	1,147	22.9%	-1000	4,000
5-0000-52.3863	TIRE DISPOSAL FEE	3,000	1,005	33.5%	-1000	2,000
TOTAL PURCHASED/CONTRACTE		582,000	386,307	66.4%	(3,000)	577,000
SUPPLIES						
5-0000-52.3970	POSTAGE	-	-	0.0%		-
5-0000-53.1150	OPERATING SUPPLIES	500	109	21.8%		500

Sanitation Fund 540		Original 23	YTD	25% of FY	Amend	Rev FY 23
<b>Sanitation Fund 540</b>						
5-0000-53.1160	OPERATING EQUIPMENT	7,500	2,060	27.5%		7,500
5-0000-53.1205	UTILITIES	1,500	286	19.0%	-500	1,000
5-0000-53.1700	OTHER SUPPLIES	2,500	-	0.0%		2,500
5-0000-53.1785	UNIFORMS	2,500	639	25.6%		2,500
5-0000-53.1786	BOOT ALLOWANCE	500	-	0.0%		500
5-0000-53.1795	MISCELLANEOUS	-	-	0.0%		-
TOTAL SUPPLIES		15,000	3,094	20.6%	(500)	14,500
CAPITAL OUTLAY						
5-0000-54.2200	VEHICLES	25,000	-	0.0%	20000	45,000
5-0000-54.2450	COMPUTER MAINTENANCE	-	-	0.0%		-
5-0000-54.2500	EQUIPMENT	40,000	-	0.0%	-20000	20,000
5-0000-54.2510	Capital Lease - Morbark Chipper	-	-	0.0%	53000	53,000
TOTAL CAPITAL OUTLAY		65,000	-	0.0%	53,000	65,000
DEPRECIATION & AMORT						
5-0000-56.1000	DEPRECIATION EXPENSE	-	-	0.0%		-
TOTAL DEPRECIATION & AMORT		-	-	0.0%		
TOTAL NON-DEPARTMENTAL		782,500	461,602	59.0%	48,500	821,000
TOTAL EXPENDITURES		782,500	445,207	56.9%	38,500	821,000
REVENUE OVER/(UNDER) EXPENDITURES		-	16,395	0.0%	10,000	0



Stormwater Fund 570						
		Amended23	YTD	50% of FY	Amend	Rev FY 23
<b>Stormwater Fund 570</b>						
CHARGES FOR SERVICES						
3-0000-34.4261	STORM UTILITY FEE	475,000	15,651	3.3%		475,000
TOTAL OTHER FINANCIAL SOURCES		475,000	15,651	3.3%	0	475,000
3-0000-38.9050	PRIOR YEAR REVENUE	19,650	0	0.0%		19,650
3-0000-39.1100	OPERATING TRANSFER	0	0	0.0%		0
TOTAL NON-DEPARTMENTAL		19,650	0	0.0%	0	19,650
TOTAL REVENUES		494,650	15,651	3.2%	0	494,650
PERSONAL SVC & EMP BEN						
5-0000-51.1100	REGULAR EMPLOYEES	145,000	68,559	47.3%	-10000	135,000
5-0000-51.1300	OVERTIME	1,500	1,489	99.3%	500	2,000
5-0000-51.2100	GROUP INSURANCE	50,000	40,088	80.2%	5000	55,000
5-0000-51.2200	FICA (SOCIAL SECURITY)	2,000	947	47.4%		2,000
5-0000-51.2400	RETIREMENT	15,000	7,164	47.8%		15,000
5-0000-51.2500	TUITION REIMBURSEMENTS	0	0	0.0%		0
5-0000-51.2700	WORKER'S COMPENSATION	3,000	2,627	87.6%		3,000
5-0000-51.2750	UNEMPLOYMENT TAX - GEORGIA	500	0	0.0%		500
TOTAL PERSONAL SVC & EMP BEN		217,000	120,875	55.7%	-4,500	212,500
PURCHASED/CONTRACTED SVC						
5-0000-52.1200	PROFESSIONAL	30,000	401	1.3%	-5000	25,000
5-0000-52.1210	ADMIN FEE - STORM TRANSFER OUT	40,000	31,000	77.5%		40,000
5-0000-52.1230	LEGAL	250	0	0.0%		250
5-0000-52.1280	FLOODPLAIN MAPPING	500	0	0.0%		500
5-0000-52.1400	DRUG & MEDICAL	250	0	0.0%		250
5-0000-52.2210	AUTO/TRUCK EXPENSES	10,000	3,170	31.7%	-2500	7,500
5-0000-52.2211	AUTO GAS & FUEL	10,000	8,823	88.2%	2000	12,000
5-0000-52.2250	OTHER EQUIP. REPAIRS/MAINT	25,000	20,295	81.2%	6400	31,400
5-0000-52.3100	RISK MANAGEMENT INSURANCE	5,000	3,619	72.4%	-1000	4,000
5-0000-52.3200	COMMUNICATION CELL PHONES	1,500	1,301	86.7%	500	2,000
5-0000-52.3205	INTERNET	0	0	0.0%		0
5-0000-52.3310	PUBLIC NOTICES	0	0	0.0%		0
5-0000-52.3600	DUES & FEES	1,000	604	60.4%		1,000
5-0000-52.3700	EDUCATION & TRAINING	3,000	627	20.9%	-1000	2,000
5-0000-52.3751	PUBLIC OUTREACH	4,500	69	1.5%	-2500	2,000
5-0000-52.3800	POND MAINTENANCE	30,000	294	1.0%	-5000	25,000
5-0000-52.3855	CONTRACTS	0	3,300	0.0%	5500	5,500
5-0000-52.3970	POSTAGE	0	37	0.0%	100	100
TOTAL PURCHASED/CONTRACTED SVC		161,000	73,540	45.7%	-2,500	158,500
SUPPLIES						
5-0000-53.1105	OFFICE SUPPLIES	200	0	0.0%		200
5-0000-53.1150	OPERATING SUPPLIES	3,500	7,938	226.8%	7000	10,500
5-0000-53.1160	OPERATING EQUIPMENT	2,000	1,261	63.0%		2,000
5-0000-53.1200	FEE FOR COLLECTING TAX	2,500	0	0.0%		2,500
5-0000-53.1700	OTHER SUPPLIES	1,000	54	5.4%		1,000
5-0000-53.1785	UNIFORMS	750	210	28.0%		750
5-0000-53.1786	BOOT ALLOWANCE	200	0	0.0%		200
5-0000-53.1795	MISCELLANEOUS	0	0	0.0%		0
TOTAL SUPPLIES		10,150	9,462	93.2%	7,000	17,150
CAPITAL OUTLAY						
5-0000-54.2200	VEHICLES	0	0	0.0%		0
5-0000-54.2242	CAPITAL LEASE 2019 JD EXCAVATO	0	0	0.0%	20000	20,000

Stormwater Fund 570						
		Amended23	YTD	50% of FY	Amend	Rev FY 23
<b>Stormwater Fund 570</b>						
5-0000-54.2250	Capital Lease 2019 JD EXCAVATO	55,000	0	0.0%	-20000	35,000
5-0000-54.2300	FURNITURE / FIXTURES	0	0	0.0%		0
5-0000-54.2400	COMPUTERS	1,500	2,620	174.7%		1,500
5-0000-54.2450	COMPUTER MAINTENANCE	0	0	0.0%		0
5-0000-54.2500	EQUIPMENT	20,000	0	0.0%		20,000
5-0000-54.2601	DRAINAGE IMPROVEMENT	30,000	0	0.0%		30,000
TOTAL CAPITAL OUTLAY		106,500	2,620	2.5%	0	106,500
DEPRECIATION & AMORT				0.0%		
5-0000-56.1000	DEPRECIATION EXPENSE	0	0	0.0%		0
TOTAL DEPRECIATION & AMORT		0	0	0.0%	0	0
PAYMENT TO OTHERS				0.0%		
TOTAL PAYMENT TO OTHERS		0	0	0.0%	0	0
TOTAL NON-DEPARTMENTAL		494,650	15,651	3.2%	0	494,650
TOTAL EXPENDITURES		494,650	206,498	41.7%	0	494,650
REVENUE OVER/(UNDER) EXPENDITURES		0	-190,847		0	0