

**City of Locust Grove
 Council Workshop Meeting Minutes
 Public Safety Building – Courtroom Chamber
 3640 Highway 42 S. – Locust Grove, GA 30248
 Monday, June 7, 2021
 6:00 PM**

Members Present:	Staff Present:
Robert Price – Mayor	Tim Young – City Manager
Carlos Greer – Councilman	Bert Foster – Assistant City Manager
Willie Taylor – Councilman	Misty Spurling – City Clerk
Keith Boone – Councilman	Jennifer Adkins – Assistant City Clerk
Rod Shearouse – Councilman	Gewel Richardson – Planner II
Rudy Breedlove – Councilman	Derrick Austin - Police Chief
Vincent Williams – Councilman	Jack Rose – Public Works Director
	Anna W. Ogg – Main Street Director
	Andy Welch - Attorney
	Staff not present:
	Daunte' Gibbs – Community Development Director

Mayor Price called the meeting to order at 6:00 PM

Invocation given by Chief Derrick Austin

Councilman Shearouse led the Pledge of Allegiance.

APPROVAL OF AGENDA –

Mayor Price asked for a motion. Councilman Greer made the motion to approve the June 7, 2021 meeting agenda.

RESULT	APPROVED AGENDA
MADE MOTION	COUNCILMAN GREER
2 ND MOTION	COUNCILMAN BREEDLOVE
VOTE	MOTION CARRIED - ALL IN FAVOR

PUBLIC COMMENTS –

Mayor Price opened to public comments.

Mrs. Carol Maker, agent for Sunrise Builders, Inc. stepped forward to comment. Mrs. Maker said she wanted to clarify the process with their plan of development and pricing of homes going forward. Mrs. Maker said they will not price the home or enter a contract unless the home has the framing package and/or in process of being framed. Discussion took place, and Mrs. Maker said she hopes this will ease some concerns that were brought up in the last meeting. Nothing further.

PUBLIC HEARING ITEMS – NONE

APPROVAL OF THE MINUTES –

1. MAY 3, 2021- REGULAR MEETING MINUTES –

Mayor Price asked for a motion. Councilman Greer made the motion to approve the May 3, 2021 regular meeting minutes.

RESULT	APPROVED MAY 3, 2021 REGULAR MEETING MINUTES
MADE MOTION	COUNCILMAN GREER
2 ND MOTION	COUNCILMAN TAYLOR.
FAVOR	MOTION CARRIED – ALL IN FAVOR

2. MAY 17, 2021- WORKSHOP MEETING MINUTES –

Councilman Shearouse made a comment to note Councilman Williams was present at this meeting.

Mayor Price asked for a motion. Councilman Taylor made the motion to approve the May 17, 2021 workshop meeting minutes as noted.

RESULT	APPROVED MAY 17, 2021 WORKSHOP MEETING MINUTES
MADE MOTION	COUNCILMAN TAYLOR
2 ND MOTION	COUNCILMAN BREEDLOVE
FAVOR	MOTION CARRIED – ALL IN FAVOR

3. MAY 17, 2021 EXECUTIVE SESSION MEETING MINUTES –

Mayor Price asked for a motion. Councilman Greer made the motion to approve the May 17, 2021 executive session meeting minutes.

RESULT	APPROVED MAY 17, 2021 EXECUTIVE SESSION MEETING MINUTES
MADE MOTION	COUNCILMAN GREER
2 ND MOTION	COUNCILMAN BREEDLOVE
FAVOR	MOTION CARRIED – ALL IN FAVOR

ACCEPTANCE OF THE FINANCIAL STATEMENT –

4. APRIL 2021 FINANCIAL STATEMENT –

Mayor Price asked for a motion. Councilman Williams made the motion to approve the April 2021 Financial Statement.

RESULT	APPROVED APRIL 2021 FINANCIAL STATEMENT
MADE MOTION	COUNCILMAN WILLIAMS
2 ND MOTION	COUNCILMAN GREER
FAVOR	MOTION CARRIED – ALL IN FAVOR

5. MAY 2021 FINANCIAL STATEMENT –

Mayor Price asked for a motion. Councilman Taylor made the motion to approve the May 2021 Financial Statement.

RESULT	APPROVED MAY 2021 FINANCIAL STATEMENT
MADE MOTION	COUNCILMAN TAYLOR
2 ND MOTION	COUNCILMAN GREER
FAVOR	MOTION CARRIED – ALL IN FAVOR

UNFINISHED BUSINESS/ACTION ITEMS –

6. Ordinance to rezone 17.78 +/- acres located at 209 Bowden Street (Parcel ID: 128-02017000) in LL 199 of the 2nd district -

Mayor Price asked for a motion. Councilman Shearouse made the motion to approve the request by approving ordinance #21-06-035.

RESULT	APPROVED ORDINANCE #21-06-035
MADE MOTION	COUNCILMAN SHEAROUSE
2 ND MOTION	COUNCILMAN BREEDLOVE
VOTE	MOTION CARRIED – FIVE IN FAVOR (SHEAROUSE, BOONE, TAYLOR, WILLIAMS, BREEDLOVE) AND ONE OPPOSED (GREER)

7. Ordinance to amend Section 17.04.060 (D)(9), entitled multi-family residential district, of the City of Locust Grove Code of Ordinances –

Mayor Price said he was aware of a request by Mr. Lang of a written request for items seven and eight be tabled tonight, but we are not proceeding with tabling. However, will be denying the requests tonight. Attorney Andy Welch made a comment the request to table does not have to be granted.

Mayor Price asked for a motion. Councilman Shearouse made the motion to deny the request.

RESULT	REQUEST DENIED
MADE MOTION	COUNCILMAN SHEAROUSE
2 ND MOTION	COUNCILMAN TAYLOR
FAVOR	MOTION CARRIED – ALL IN FAVOR

Discussion took place and Mr. Young confirmed the applicant cannot apply again for six months.

8. Ordinance to rezone 37.953 +/- acres located at 300-590 Market Place Blvd (Parcel ID: 112-01013000) in LL 201 of the 2nd district –

Mayor Price asked for a motion. Councilman Shearouse made the motion to deny the request.

RESULT	REQUEST DENIED
MADE MOTION	COUNCILMAN SHEAROUSE
2 ND MOTION	COUNCILMAN GREER
FAVOR	MOTION CARRIED – ALL IN FAVOR

Mayor Price made a comment we will be working diligently within the next six to twelve months to come to an agreement that will be beneficial to the city and developer. Our goal is to be mindful of the growth of the City of Locust Grove and make good decisions for all.

9. Resolution to approve the 2021-2022 Memorandum of Understanding with GA Department of Community Affairs for Main Street Program –

Mayor Price asked for a motion. Councilman Greer made the motion to approve the request by approving resolution 21-06-036.

RESULT	APPROVED RESOLUTION #21-06-036
MADE MOTION	COUNCILMAN GREER
2 ND MOTION	COUNCILMAN SHEAROUSE
FAVOR	MOTION CARRIED – ALL IN FAVOR

10. Ordinance to approve the addition of a newly created position class to the Police Department –

Mayor Price asked for a motion. Councilman Williams made the motion to approve the request by approving ordinance #21-06-037.

RESULT	APPROVED ORDINANCE #21-06-037
MADE MOTION	COUNCILMAN WILLIAMS
2 ND MOTION	COUNCILMAN BREEDLOVE
FAVOR	MOTION CARRIED – ALL IN FAVOR

11. Ordinance to approve the final design concept for the Locust Grove Scatter Garden/Veteran's Memorial –

Mayor Price asked for a motion. Councilman Williams made the motion to approve the request by approving ordinance 21-06-038.

RESULT	APPROVED ORDINANCE #21-06-038
MADE MOTION	COUNCILMAN WILLIAMS
2 ND MOTION	COUNCILMAN SHEAROUSE
FAVOR	MOTION CARRIED – ALL IN FAVOR

12. Approval of a Special Event Permit for a fireworks sale for TNT Fireworks –

Mayor Price asked for a motion. Councilman Breedlove made the motion to approve the request.

RESULT	APPROVED SPECIAL EVENT
MADE MOTION	COUNCILMAN BREEDLOVE
2 ND MOTION	COUNCILMAN SHEAROUSE
FAVOR	MOTION CARRIED – ALL IN FAVOR

13. Resolution approving the architectural plans submitted for Dollar General, located at the corner of Stanley K. Tanger Blvd and Elementary Drive –

Mayor Price asked for a motion. Councilman Taylor made the motion to approve the request by approving resolution 21-06-039.

RESULT	APPROVED RESOLUTION #21-06-039
MADE MOTION	COUNCILMAN TAYLOR
2 ND MOTION	COUNCILMAN SHEAROUSE
FAVOR	MOTION CARRIED – ALL IN FAVOR

NEW BUSINESS/ACTION ITEMS –

14. Resolution to award the bid for services associated with the installation of lightning arrestors for City Hall and the Public Safety Building –

Assistant City Manager Bert Foster said this is a request for permission to award the bid for services associated with the installation of lightning arrestors on City Hall and the Public Safety Building. Two companies performed onsite evaluations and provided estimates, including the lowest from Vickery Lightning Protection in the amount of \$78,075.00. The city recommends awarding the bid to Vickery Lightning Protection of Dahlonega, GA.

Mayor Price asked for a motion. Councilman Williams made the motion to approve the request by approving resolution #21-06-040.

RESULT	APPROVED RESOLUTION #21-06-040
MADE MOTION	COUNCILMAN WILLIAMS
2 ND MOTION	COUNCILMAN BOONE
FAVOR	MOTION CARRIED – ALL IN FAVOR

15. An Ordinance to adopt a Moratorium on accepting zoning map amendment applications, building permit applications, development plans, preliminary plats and/or final plat applications for the creation of new multi-family residential developments in the city for a period of one-hundred eighty (180) days –

Assistant City Manager Bert Foster led discussion staff is seeking a 180-day moratorium on multifamily developments to allow time to review and revise the City's growth management strategy. The multifamily development is exceeding all other housing options and the density provisions are not feasible as currently written.

Councilman Greer asked why contemplating amending residential growth regulation ordinance and not the ordinance related to warehouses too? Councilman Greer said he agrees with growth management; however, said he feels like the growth is not being managed. Mr. Foster replied the revisions were made to the M-1 and R-3 ordinance and this is the next step to look at how we compare to other jurisdictions. Mr. Young made a comment we do not have an ordinance to accommodate the request per the Gateway Town Center area. Mr. Young said we want to review our growth ordinance as well to make sure we address medium/low-density and single family to avoid overbuilding of apartments and an imbalance in the area. Multifamily is the goal and in the most demand, and the best thing right now is to not approve until we have a better plan.

Councilman Greer asked if all aspects of the city's growth are multi-family and single family and Mr. Young replied yes.

Councilman Shearouse asked the reason to rewrite the ordinance. Discussion took place and Mr. Foster replied to find balance with the product.

Mayor Price asked for a motion. Councilman Breedlove made the motion to approve the request by approving ordinance #21-06-041.

RESULT	APPROVED ORDINANCE #21-06-041
MADE MOTION	COUNCILMAN BREEDLOVE
2 ND MOTION	COUNCILMAN SHEAROUSE
FAVOR	MOTION CARRIED – ALL IN FAVOR

CITY MANAGER'S COMMENTS –

Mr. Young stepped forward and asked for everyone to remember those families dealing with loss or illness. Also, remember we need the information for the GMA Conference tonight so that we can be ready for registration tomorrow. We will be away tomorrow and Wednesday for the mini retreat in Hampton. Nothing further.

MAYOR'S COMMENTS – NONE

EXECUTIVE SESSION – NONE

ADJOURNMENT –

Mayor Price asked for a motion to adjourn. Councilman Breedlove made the motion to adjourn.

RESULT	APPROVED – ADJOURN MEETING
MADE MOTION	COUNCILMAN BREEDLOVE
2 ND MOTION	COUNCILMAN SHEAROUSE
FAVOR	MOTION CARRIED MEETING ADJOURNED @ 6:27 PM.

Notes taken by:

Misty Spurling, City Clerk

**City of Locust Grove
Council Workshop Meeting Minutes
Public Safety Building – 3640 Highway 42 S.
Locust Grove, GA 30248
Monday, June 21, 2021
6:00 PM**

Members Present:	Staff Present:
Robert Price – Mayor	Tim Young – City Manager
Willie Taylor – Councilman	Bert Foster – Assistant City Manager
Keith Boone – Councilman	Misty Spurling – City Clerk
Rod Shearouse – Councilman	Jennifer Adkins – Assistant City Clerk
Rudy Breedlove – Councilman	Daunté Gibbs – Community Development Director
Vincent Williams – Councilman	Derrick Austin – Police Chief
	Anna W. Ogg – Main Street Manager
Members Present Via Teleconference:	Jack Rose – Public Works Director
Carlos Greer – Councilman	Andy Welch – Attorney

Mayor Price called the meeting to order at 6:00 PM.

Invocation given Assistant City Manager Bert Foster.

Councilman Breedlove led the Pledge of Allegiance.

APPROVAL OF AGENDA –

Mayor Price asked for a motion. Councilman Boone made the motion to approve the June 21, 2021 meeting agenda.

RESULT	APPROVED
MADE MOTION	COUNCILMAN BOONE
2 ND MOTION	COUNCILMAN SHEAROUSE
VOTE	MOTION CARRIED - ALL IN FAVOR

PUBLIC COMMENTS –

Introduction of new hire – Officer Chardannay Hurst –

Mayor Price said Ms. Hurst could not be here due to work related priorities. Nothing further.

PUBLIC HEARING ITEMS –

- 1. Annexation and rezoning of 39.08 +/- acres and 156.82 +/- acres located North of Bethlehem Road between Interstate 75 and SR 42 (Parcel IDs: 110-01019002 and 110-01023000) in LL 230, 246, 250, 251 of the 2nd and 7th districts –**

Community Development Director Daunte' Gibbs stepped forward and led discussion this is a request for annexation and rezoning from The Galloway Law Group, LLC. Mr. Gibbs said this property is north of Bethlehem Road including land lots 230, 246, 250, and 251 utilizing the 100% method. The larger tract [156.82 +/- acres] is zoned RA and the smaller tract [39.08 +/- acres] is

zoned M-2. The applicant is seeking to maintain the current zoning from Henry County which is M-2 (Heavy Manufacturing).

Mayor Price said this is a public hearing and opened for public comments for anyone not opposed.

Mr. Jordan Edwards, with Galloway Law Group stepped forward to comment. Mr. Edwards said he is representing Norfolk Southern and Majestic Realty Co., and said Majestic Realty is one of the Country's leading developers and discussion took place. Mr. Edwards said the FLUM recommends industrial use; however, the plan is to rezone later and bring into the city as currently zoned. Mr. Edwards said this is a long-term project and discussion took place.

Councilman Williams asked Mr. Edwards if he has any idea of the future use of the land. Mr. Edwards replied the plan is for future distribution (light industrial) and a rezoning will likely be requested within the next two years.

Councilman Greer (via teleconference) asked Mrs. Ogg to relay his question so that everyone could hear. Mrs. Ogg said Councilman Greer asks what the pros and cons for annexing into the city and the financial and economic impact annexing would have for the city. Mr. Edwards replied the property is in unincorporated part of the county, and the utilities would remain in Henry County. Mr. Young followed up to Mr. Edwards response and said the development fees are high and there would not be any water/sewer expenditures for the city. The only expense the city would incur is possibly sanitation. This would be partially revenue positive for the city. Councilman Greer asked what the city would receive annually after the initial fees are collected. Mr. Young replied we could possibly receive up to \$100,000 but would be based on whatever the gross receipts received and number of employees.

Councilman Shearouse asked what the advantage of annexing into the city is? Mr. Edwards replied for them the advantage is the ease of working with qualified and friendly staff of the city. Nothing further.

Mayor Price asked for comments from anyone opposed, and there were no public comments in opposition.

Mayor Price closed the public hearing.

Mayor Price asked for comments from Council which had no further comments.

NEW BUSINESS/ACTION ITEMS -

2. Resolution to authorize the purchase of permanent construction easements for the purpose of signalizing SR 42 and Market Place Boulevard property acquisition -

Assistant City Manager Bert Foster stepped forward and led discussion this is compensation reports for the Georgia Power/Georgia Transmission Corp. property acquisition needed as part of the specified signalization. After the three easements are in place we can proceed to open for bid.

Mayor Price asked for a motion. Councilman Boone made the motion to approve the request by approving resolution #21-06-042.

RESULT	APPROVED RESOLUTION #21-06-042
MADE MOTION	COUNCILMAN BOONE
2 ND MOTION	COUNCILMAN TAYLOR

VOTE	MOTION CARRIED - ALL IN FAVOR
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3. Ordinance to amend Police SOP Section A-060, selection process –

Chief Derrick Austin stepped forward and reviewed the changes throughout.

Mayor Price asked for a motion. Councilman Shearouse made the motion to approve the request by approving ordinance #21-06-043.

RESULT	APPROVED ORDINANCE #21-06-043
MADE MOTION	COUNCILMAN SHEAROUSE
2 ND MOTION	COUNCILMAN BREEDLOVE
VOTE	MOTION CARRIED - ALL IN FAVOR

4. Ordinance to amend Police SOP Section A-070, promotion process –

Mayor Price asked for a motion. Councilman Williams made the motion to approve the request by approving ordinance #21-06-044.

RESULT	APPROVED ORDINANCE #21-06-044
MADE MOTION	COUNCILMAN WILLIAMS
2 ND MOTION	COUNCILMAN BOONE
VOTE	MOTION CARRIED - ALL IN FAVOR

CITY OPERATION REPORTS / WORKSHOP DISCUSSION ITEMS

MAIN STREET OPERATIONS – ANNA W. OGG

Mrs. Ogg gave an update we have new digital billboards on I-75 and will be replacing the artwork within the next month. The second free Yoga in the Park event had a great turnout with 20 people. The HPC received no COAs and the DDA did not meet. Mrs. Ogg said she and members of HPC and DDA completed training and there was no quorum for Main Street to meet. Discussion took place about the historic resource survey. We have a new tax credit project nearing completion on Jackson Street, and this [business] will create eight new fulltime jobs. Further, Mrs. Ogg said staff posted a social media advertising to encourage people to respect our parks. Nothing further.

PUBLIC SAFETY OPERATIONS – CHIEF DERRICK AUSTIN

Chief Derrick Austin reviewed the monthly report. The Chief noted the department completed 151 hours of training in May, and the two new patrol cars went in service today.

PUBLIC WORKS – JACK ROSE

Public Works Director Jack Rose stepped forward with an update everything is operating as normal. We have added new speedhumps in various locations and replaced signs as well. Nothing further.

ADMINISTRATION – BERT FOSTER

Mr. Foster gave an update GDOT confirmed the design on the Peeksville Road extension and Mr. Foster gave an update on the MMIP (Commercial Vehicle Lane) and the signal at Market Place and Hwy 42. A public open house is scheduled for the first quarter of 2022 for the MMIP. We are preparing the contract on the lightning arrestors for City Hall and the Public Safety Building and Falcon Design Group is working on the construction plans for the Scatter Garden. There is a stormwater issue at the intersection of Arnold Street, and we will be installing a rerouted culvert to avoid future problems. Nothing further.

- **Resolution to create a streetlight district in Liberty Grove subdivision (f/k/a Derrystone at Locust Grove Station, Phase 2)**

Mr. Foster continued with discussion staff received an application to create a streetlight district which includes 60 lots and proposed for nine lights. The annual fee will be \$20.18 per lot and 100% of the property owners in this subdivision are in favor. This will be brought back in July for action.

COMMUNITY DEVELOPMENT OPERATIONS – DAUNTÉ GIBBS

Community Development Director Daunté Gibbs gave an update his department has issued a total 1,448 permits including 275 new house permits for 2021. We have issued 164 COs [104 residential and 60 commercial permits] with 355 business licenses issued for 2021. Further, Mr. Gibbs said Waffle House is ready to begin development and Chick-Fil-A is one step further in their process. Nothing further.

- **Final Plat for Berkley Lakes Phase 2A, a single-family residential subdivision, located at 71 Single Circle**

Mr. Gibbs led discussion this is a request from Moore Bass of McDonough, for 50 single-family residential lots. This request will be brought back for action in July. Nothing further.

- **Preliminary plat for Peeksville Road subdivision, a single-family residential subdivision, located off Peeksville Road –**

Mr. Gibbs led discussion this is from Whitley Engineering, for 49 (12,000 sq. ft.) single-family residential lots. This request will be brought back in July for action. Nothing further.

ARCHITECTURAL REVIEW BOARD (ARB) – NONE

CITY MANAGER'S COMMENTS –

Mr. Young continued with an update he reached out to Ameika Pitts, Henry County Elections coordinator to discuss election locations.

- **FY 2021 Budget updates –**

Mr. Young said we are nearing the end of a half year into the development of the budget. We are trending well in revenue and soon will be in line with expenditures. Misty has applied for the next round of stimulus funding, and we should see that in our account soon.

- **Utility Rates –**

Mr. Young led discussion the city “froze” utility rates after the July 1, 2019 semiannual increase. During the COVID pandemic, we continued to hold off on any increases until the economy saw a positive impact. We should be nearly 9% higher with continuous rate increases to continue. We are about \$300,000 off for water and sewer in revenue; however, our largest expense is sewer due to

addressing some issues with fats, oils, and grease from our lift stations and mains. We are working on a new rate structure that separates residential and commercial rates using a differential percentage in the pricing of sewer over that of water.

Councilman Shearouse asked when this will be effective? Mr. Young replied tentatively in August. Discussion took place on different rates in hopes to incrementally get where we need to be. Councilman Boone asked if we could put notification on the water bills and Mr. Young replied yes, we will give notice to customers. Nothing further.

Mr. Young said the auditors are onsite, and Misty is working with them to help finalize the 2020 audit. Nothing further.

MAYOR'S COMMENTS – NONE

EXECUTIVE SESSION – NONE

ADJOURNMENT-

Mayor Price asked for a motion to adjourn. Councilman Boone made the motion to adjourn.

RESULT	ADOPTED
MADE MOTION	COUNCILMAN BOONE
2 ND MOTION	COUNCILMAN TAYLOR
VOTE	MOTION CARRIED - ALL IN-FAVOR MEETING ADJOURNED @ 6:46 PM.

Notes taken by:

Misty Spurling, City Clerk



Community Development Department

P. O. Box 900
Locust Grove, Georgia 30248
Phone: (770) 957-5043
Facsimile (770) 954-1223

Item Coversheet

Item: An ordinance for annexation and rezoning of 39.08 +/- acres and 156.82 +/- acres located North of Bethlehem Road between Interstate 75 and State Route 42 (Parcel IDs: 110-01019002 & 110-01023000) in Land Lots 230, 246, 250, 251 of the 2nd and 7th District.

Action Item: Yes No

Public Hearing Item: Yes No

Executive Session Item: Yes No

Advertised Date: May 19, 2021

Budget Item: No

Date Received: March 23, 2021

Workshop Date: June 21, 2021

Regular Meeting Date: July 6, 2021

Discussion:

The Galloway Law Group, LLC, of Atlanta, GA requests annexation and rezoning of 39.08 +/- acres and 156.82 +/- acres located North of Bethlehem Road between Interstate 75 and State Route 42 (Parcel IDs: 110-01019002 & 110-01023000) in Land Lots 230, 246, 250, and 251 of the 2nd and 7th District utilizing the 100% method per O.C.G.A. §36-36-20. The properties are currently zoned RA (Residential Agricultural) and M-2 (Heavy Manufacturing) and will remain so if incorporated into the City. The Henry County Board of Commissioners raised no objections to this annexation during their April 20, 2021 meeting.

Water and Sewer: According to the City of Locust Grove Public Works Department, the subject properties will be serviced by the Henry County Water Authority for water and sewer services. The subject properties are not located within any Watershed Protection Areas.

Police Services: If the Subject Properties are annexed into the city limits, it will be placed on a regular patrol route.

Fire: Fire and emergency services will be performed by Henry County as is the case in other areas of the City.

Transportation Impacts: There are no discernible increases or changes to transportation patterns in the vicinity as a result of this request, given the commercial and industrial character of the neighboring area along State Route 42 remaining the same, if annexed into the City of Locust Grove. If and when future development of the subject properties occur, transportation impacts will be analyzed at that time.

Recommendation:

Taking into consideration that the annexation request meets all of the legalities required by the Georgia Annexation Law, staff recommends approval of the applicant's request.

I MOVE TO (approve/deny/table) THE ANNEXATION AND REZONING OF THE SUBJECT PROPERTIES (PARCEL ID: 110-01019002 & 110-01023000) LOCATED NORTH OF BETHLEHEM ROAD BETWEEN INTERSTATE 75 AND STATE ROUTE 42 IN LAND LOTS 230, 246, 250, AND 251 OF THE 2ND AND 7TH DISTRICT.

ORDINANCE NO. _____

AN ORDINANCE TO ANNEX APPROXIMATELY 39.08 +/- ACRES AND 156.82 +/- ACRES LOCATED NORTH OF BETHLEHEM ROAD BETWEEN INTERSTATE 75 AND STATE ROUTE 42 IN LAND LOTS 230, 246, 250 AND 251 OF THE 2ND AND 7TH DISTRICT WITHIN THE CITY OF LOCUST GROVE, GEORGIA; TO PROVIDE AN EFFECTIVE DATE; AND FOR OTHER PURPOSES

WHEREAS, the City of Locust Grove ("City") is a municipal corporation, duly organized and existing under the laws of the State of Georgia; and,

WHEREAS, The Galloway Law Group, LLC, of Atlanta, GA, (the "Applicant") petitioned the City to annex and rezone properties located north of Bethlehem Road between Interstate 75 and State Route 42 consisting of 39.08 +/- acres and 156.82 +/- acres (Parcel IDs: 110-01019002 & 110-01023000) totaling 195.90 +/- acres, located in Land Lots 230, 246, 250, and 251 of the 2nd and 7th District (the "Properties") attached hereto as **Exhibit A**; and,

WHEREAS, the Applicant filed a request to annex and rezone the subject Properties into the City of Locust Grove on March 23, 2021, as shown in the staff report attached hereto and incorporated herein by reference as **Exhibit B**; and,

WHEREAS, the City of Locust Grove accepted the application for annexation on March 24, 2021; and,

WHEREAS, THE City of Locust Grove provided notice of the annexation to the Henry County Board of Commissioners on March 29, 2021 by certified mail; and,

WHEREAS, the Henry County Board of Commissioners reviewed the Applicant's request during their April 20, 2021 meeting and raised no objections to said request; and,

WHEREAS, said request has been reviewed by the Mayor and City Council at a Public Hearing held on June 21, 2021 as well as by the City Community Development Director; and,

WHEREAS, the Applicant requested that the Properties retain the same zoning in the City (RA: Residential Agricultural and M-2: Heavy Manufacturing) that they had in the County (RA: Residential Agricultural and M-2: Heavy Manufacturing), addressed under a separate action; and,

WHEREAS, notice of this matter (as attached hereto and incorporated herein as **Exhibit C**) has been provided in accordance with applicable state law and local ordinances; and,

WHEREAS, the Mayor and City Council have reviewed and considered the Applicant's request and both the recommendations of the public hearing and City staff as presented in the Report.

THEREFORE, THE COUNCIL OF THE CITY OF LOCUST GROVE HEREBY ORDAINS:

1.

- That the request for annexation is hereby **APPROVED**.
- That the request for annexation is hereby **DENIED**.

2.

That the use of the Properties is subject to:

- The condition(s) set forth on **Exhibit D** attached hereto and incorporated herein by reference.
- The terms of the Development Agreement attached hereto as **Exhibit D** and incorporated herein by reference.
- If no **Exhibit D** is attached hereto, then the properties is zoned without conditions.

3.

That, if the request is granted, the official zoning map for the City is hereby amended to reflect such zoning classification for the property.

4.

That, if granted, this Ordinance shall become effective immediately subject to the corresponding annexation ordinance under consideration.

SO ORDAINED by the Council of this City this 6th day of July 2021.

ROBERT S. PRICE, Mayor

ATTEST:

MISTY SPURLING, City Clerk

(Seal)

APPROVED AS TO FORM:

City Attorney

EXHIBIT A



City of Locust Grove

P.O. Box 900 Locust Grove, Georgia 30248-0900

Telephone (770) 957-5043 Fax: 1-866-364-0996

MAYOR

Robert Price

COUNCIL

Keith Boone

Rudy Breedlove

Carlos Greer

Rod Shearouse

Willie J. Taylor

Vincent Williams

CITY MANAGER

Tim Young

CITY CLERK

Misty Spurling

March 29, 2021

Henry County Board of Commissioners
Attention: Carlotta Harrell, Chair
140 Henry Parkway
McDonough, GA 30253

RE: Letter of Correction for annexation of 156.82 +/- acres (Parcel ID 110-01023000) located north of Bethlehem Road between Interstate 75 and State Route 42 North and 39.08 acres +/- acres (Parcel ID 110-01019002) located north of Bethlehem Road between Interstate 75 and State Route 42 North.

Dear Chair Harrell:

The City has accepted an application on March 24, 2021 for annexation of the following properties:

156.82 +/- acres (Parcel ID 110-01023000) located north of Bethlehem Road between Interstate 75 and State Route 42 North and 39.08 acres +/- acres (Parcel ID 110-01019002) also located north of Bethlehem Road between Interstate 75 and State Route 42 North. The properties are being assembled by The Galloway Law Group, LLC.

The properties are contiguous to the existing City Limits and are being annexed by the 100% Method with no planned change in zoning other than a classification of the same RA (Residential-Agricultural) and M-2 (Heavy Manufacturing) zoning districts and Future Land Use designation of Industrial in the City of Locust Grove as is equivalent in Henry County.

Utilities will be provided per the Service Delivery Strategy agreement with the Henry County Water Authority.

This notice is being provided to you in accordance with Agreement Section 4. H. 4 and O.C.G.A. § 36-36-111 of the acceptance of the application for your consideration and comment.

Should you need any further information on this matter, please feel free to contact me at (770) 957-5043.

Respectfully,

Tim Young, City Manager

Cc: Cheri Hobson-Matthews, County Manager
Patrick Jaugstatter, County Attorney
Andy Welch, City Attorney
Locust Grove City Council
Henry County Water Authority

William
Woodson
Galloway

**THE
GALLOWAY
LAW GROUP**

4062 Peachtree Road NE, Suite A 330 | Atlanta, GA 30319
O (404) 965-3680 | D (404) 965-36813680 | C (678) 575-0001
Partner | woody@glawgp.com
www.glawgp.com

March 23, 2021

VIA ELECTRONIC MAIL

The Honorable Robert Price
Mayor, City of Locust Grove
Locust Grove City Hall
3644 Hwy 42
Locust Grove, GA 30248

Re: State Route 42 Annexation

Mayor Price:

On behalf of Norfolk Southern Corp. we would like to thank you for your acceptance of the attached annexation request. Norfolk Southern Corp. is proud to be a long-time property owner & friend to the City of Locust Grove. We look forward to working with you, council members and city staff on this application. The approval of this application will allow Norfolk Southern to continue to contribute to the responsible growth & success that Locust Grove is seeing today. Our team would welcome the opportunity to meet with you, council members and staff over the next 45 days to discuss this application and the project that it supports. Thank you for your consideration and please don't hesitate to reach out if we can be of assistance.

Sincerely,

THE GALLOWAY LAW GROUP, LLC


William Woodson Galloway

cc: Norfolk Southern Corp.

**APPLICATION FOR ANNEXATION UNDER
THE ONE HUNDRED PERCENT (100%) METHOD**

Date of Submission: 3/23/2021

To the Mayor and City Council of the City of Locust Grove, Henry County, Georgia.

1. We, the undersigned, all of the owners of all real property of the territory described herein respectfully request that the City Council annex this territory to the City of Locust Grove, Georgia, and extend the City boundaries to include the same.
2. The territory to be annexed is unincorporated and contiguous (as described in O.C.G.A. 36-36-20) to the existing corporate limits of Locust Grove, Georgia, and the description of such territory is hereto attached as Exhibit A.

OWNERS NAME(S) NORFOLK SOUTHERN
c/o The Galloway Law Group, LLC

PROPERTY LOCATION Between Interstate 75 and State Route 42 north of
Bethlehem Road

PHONE NUMBER (404) 965-3681

ALTERNATE PHONE (404) 965-3682

LAND LOT/DISTRICT Land Lots 246, 250, 251 / Districts 2, 7

ACREAGE Approx. 156.82 acres

MAP CODE NO. 110-01023000

ZONING CLASSIFICATION RA Residential-Agricultural

SIGNATURE(S) Malcolm G. Roop **Date** 3/17/2021
By: Malcolm G. Roop
As: Real Estate Manager **Date** 3/17/2021

All property owners must sign as their name appears on the Deed.

Tract II

All that tract or parcel of land lying and being in Land Lot 246 of the 2nd District and Land Lots 250 & 251 of the 7th District of Henry County, Georgia and being more particularly described as follows:

COMMENCING at a 5/8" rebar found at the northwest corner of Land Lot 247, which is common to Land Lots 246 & 247, and the 2nd and 7th District Line; said rebar also being the POINT OF BEGINNING;

THENCE, from the POINT OF BEGINNING and southerly along the common line to Land Lots 246 & 247 a bearing of South 01 degrees 22 minutes 37 seconds West, a distance of 1,069.67 feet to a 3/4" crimped-top pipe found on the northeasterly right-of-way of Interstate 75 (variable R/W);

THENCE, northerly along said right-of-way of Interstate 75 the following courses and distances: North 30 degrees 54 minutes 57 seconds West, a distance of 55.83 feet to a right-of-way monument found;

THENCE, North 21 degrees 47 minutes 08 seconds West, a distance of 498.90 feet to a right-of-way monument found; THENCE, North 25 degrees 15 minutes 46 seconds West, a distance of 399.26 feet to a right-of-way monument found; THENCE, North 23 degrees 20 minutes 53 seconds West, a distance of 696.97 feet to a point; THENCE, North 23 degrees 33 minutes 17 seconds West, a distance of 99.85 feet to a point; THENCE, North 23 degrees 25 minutes 47 seconds West, a distance of 602.87 feet to a right-of-way monument found; THENCE, North 21 degrees 23 minutes 16 seconds West, a distance of 600.34 feet to a point; THENCE, North 23 degrees 36 minutes 07 seconds West, a distance of 498.71 feet to a right-of-way found; THENCE, North 68 degrees 14 minutes 59 seconds East, a distance of 84.75 feet to a point; THENCE, North 23 degrees 12 minutes 46 seconds West, a distance of 354.06 feet to a right-of-way marker found; THENCE, North 10 degrees 53 minutes 33 seconds West, a distance of 115.04 feet to a right-of-way monument found; THENCE, North 01 degrees 02 minutes 56 seconds East, a distance of 156.82 feet to a right-of-way monument found; THENCE, South 85 degrees 18 minutes 57 seconds West, a distance of 34.96 feet to a right-of-way monument found; THENCE, South 84 degrees 24 minutes 49 seconds West, a distance of 30.08 feet to a right-of-way monument found; THENCE, South 85 degrees 40 minutes 15 seconds West, a distance of 34.56 feet to a right-of-way monument found; THENCE, South 01 degrees 00 minutes 21 seconds West, a distance of 160.61 feet to a right-of-way monument found; THENCE, South 85 degrees 52 minutes 04 seconds West, a distance of 32.64 feet to a right-of-way monument found; THENCE, North 23 degrees 31 minutes 52 seconds West, a distance of 499.15 feet to a right-of-way monument found; THENCE, North 25 degrees 11 minutes 22 seconds West, a distance of 35.32 feet to a point on the common property line with Southern Region Industrial C/O Norfolk Southern Tax (Tract III);

THENCE, easterly leaving said right-of-way along said common property line with Tract III a bearing of South 89 degrees 22 minutes 50 seconds East, a distance of 1,293.49 feet to a point on the westerly right-of-way of Norfolk Southern;

THENCE, southeasterly along said right-of-way of Norfolk Southern a bearing of South 45 degrees 19 minutes 11 seconds East, a distance of 4,396.51 feet to 5/8" rebar found on the common land lot line between Land Lots 247 & 250;

THENCE, westerly leaving said right-of-way along said common land lot line a bearing of North 88 degrees 44 minutes 42 seconds West, a distance of 2,607.12 feet to the POINT OF BEGINNING.

The herein described tract of land contains 6,831,183 square feet or 156.822 acres, more or less.

BOOK PAGE
010682 0128

DOCH# 001941
FILED IN OFFICE
01/17/2008 02:49 PM
BK:10682 PG:128-132
JUDITH A LEWIS
CLERK OF SUPERIOR COURT
HENRY COUNTY

Judith Lewis
REAL ESTATE TRANSFER TAX
PAID: \$15687.40

STATE OF GEORGIA
COUNTY OF HENRY

PT-61 075-2005/-00432

LIMITED WARRANTY DEED

THIS INDENTURE (this "Deed") is made as of the 10th day of January, 2008, by and between Nancy T. Benton, individually, and Nancy T. Benton, as Trustee of the Nancy Teem Benton Life Trust created pursuant to Item VII(c) of the Last Will and Testament of Louise Green Teem, Deceased, for the benefit of Nancy Teem Benton, 12444 Forsyth Highway, Monticello, GA 31064 ("Grantor"), and Norfolk Southern Railway Company, a Virginia corporation, as to a ninety-four percent (94%) tenant in common interest and Alabama Great Southern LLC, a Virginia limited liability company as to a six percent (6%) tenant in common interest, 110 Franklin Road, SE, Roanoke, VA 24042 ("Grantee") (the terms "Grantor" and "Grantee" to include their respective heirs, legal representatives, successors and assigns where the context requires or permits).

WITNESSETH:

That Grantor, for and in consideration of the sum of TEN AND NO/100 DOLLARS (\$10.00) and for other good and valuable consideration in hand paid by Grantee to Grantor at and before the sealing and delivery hereof, the receipt and sufficiency of which are hereby acknowledged, has granted, bargained, sold, aliened, conveyed and confirmed, and by these presents does hereby grant, bargain, sell, alien, convey and confirm unto Grantee, the following described real property, to wit:

ALL THOSE TRACTS or parcels of land lying and being in Henry County, Georgia, being more particularly described in Exhibit "A" attached hereto and made a part hereof by this reference, together with any improvements located thereon (collectively, the "Property").

TO HAVE AND TO HOLD the Property, together with all and singular the rights, members and appurtenances thereof, to the same being, belonging, or in anywise appertaining, to the only proper use, benefit and behoof of the said Grantee forever in FEE SIMPLE.

010408LWD2CORRECTED

FedEx ² Return to: *H4104-S*
Zonia N. Veal
First National Financial Title Services, Inc.
3237 Satellite Blvd., Suite 450
Duluth, GA 30096

AND Grantor will warrant and forever defend the right and title to the Property unto Grantee against the claims of all persons claiming by, through or under Grantor, subject only to those matters set forth on Exhibit "B" attached hereto and made a part hereof by this reference.

IN WITNESS WHEREOF, Grantor has signed and sealed this Deed, the day, month and year first above written.

GRANTOR:

Signed, sealed and delivered
in the presence of:

Michelle Annis
Witness

[Signature]
Notary Public

Nancy T. Benton, individually (SEAL)
Nancy T. Benton, Individually



Signed, sealed and delivered
in the presence of:

Michelle Annis
Witness

[Signature]
Notary Public

Nancy T. Benton as trustee (SEAL)
Nancy T. Benton, as Trustee of the Nancy Teem Benton Life Trust created pursuant to Item VII(c) of the Last Will and Testament of Louise Green Teem, Deceased, for the benefit of Nancy Teem Benton



Prepared by
Alan W. Jackson
Glover & Davis, P.A.
10 Brown Street
Newnan, GA 30263

010408LWD2CORRECTED

LEGAL DESCRIPTION
EXHIBIT "A"

All that tract or parcel of land lying and being in the District of Henry County, Georgia, and being more particularly described as follows:

All that tract of land lying and being in Land Lots 250 and 251 of the 7th Land District and Land Lot 246 of the 2nd Land District of Henry County, Georgia, containing 154.94 acres, more or less, and being more particularly described as follows:

Beginning at an iron pin located at the point of intersection of the southwestern right-of-way line of the Southern Railroad with the land lot line separating Land Lot 230 and 251 of the 7th Land District of Henry County, Georgia, said point being hereinafter called the POINT OF BEGINNING. From said point of beginning running North 86°39'53" West, 1312.0 feet to an iron pin; thence South 25°42'29" East 49.90 feet to a concrete monument; thence South 21°44'28" East 499.12 feet to a concrete monument; thence North 87°42'24" East 32.76 feet to a concrete monument; thence North 2°41'44" East 160.52 feet to a concrete monument; thence North 87°14'35" East 34.89 feet to a concrete monument; thence North 86°20'35" East 30.11 feet to a concrete monument; thence North 87°11'23" East 34.89 feet to a concrete monument; thence South 2°47'53" West 156.95 feet to a concrete monument; thence South 9°06'36" East 114.72 feet to a concrete monument; thence South 21°21'41" East 354.92 feet to a concrete monument; thence South 70°11'49" West 84.17 feet to a concrete monument; thence South 22°34'47" East 498.47 feet to a concrete monument; thence South 19°28'47" East 498.47 feet to a concrete monument; thence South 19°28'47" East 600.11 feet to a concrete monument; thence South 21°27'17" East 1400.72 feet to a concrete monument; thence South 23°29'50" East 398.90 feet to a concrete monument; thence South 20°03'50" East 499.43 feet to a concrete monument; thence South 26°54'00" East 43.55 feet to an iron pin; thence North 1°42'00" East 1059.90 feet to an iron pin; thence South 87°56'06" East 2,596.38 feet to an iron pin set at the southwestern right-of-way of the Southern Railroad; thence along said right-of-way North 43°33'02" West 4,321.42 feet to an iron pin and the point of beginning. This is the same land described by plat of survey prepared by Timberland Management Services, Inc., W.W. Lester, R.L.S., #2128, dated November 26, 1986 recorded in Plat Book 13, Page 225 of the Henry County Records.

This is the same property that was conveyed to William B. Orkin by deed dated July 29, 1966 recorded in Deed Book 91, Pages 457-458, and deed dated June 7, 1967 recorded in Deed Book 95, Page 271, Henry County records.

Less and Except any portion of the subject property that may lie beyond the boundaries of the property owned by Grantor as described in the deeds whereby Grantor acquired the property, as follows: (i) that Deed dated July 29, 1966, recorded in Deed Book 91, Page 457, and (ii) that Deed dated June 7, 1967, recorded in Deed Book 95, Page 271, Henry County Records.

Also Less and Except:

ALL THAT TRACT OR PARCEL OF LAND, LYING AND BEING LOCATED IN LAND LOT 230 OF THE 7th DISTRICT, HENRY COUNTY, GEORGIA, BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS,

BEGIN AT A 3/8" DIAMETER RE-BAR FOUND WHERE THE LAND LOT LINE COMMON TO LAND LOTS 230 AND 251 OF THE 7th LAND DISTRICT OF HENRY COUNTY GEORGIA INTERSECTS THE NORTHEASTERLY RIGHT OF WAY OF INTERSTATE HIGHWAY No. 75,(A VARIABLE RIGHT-OF-WAY,LIMITED ACCESS HIGHWAY), THE TRUE POINT OF BEGINNING,

THENCE North 37 degrees 54 minutes 33 seconds West for a distance of 14.87 feet to a calculated point;

THENCE, leaving the Right-of-way of Interstate Highway No. 75, South 86 degrees 49 minutes 38 seconds East for a distance of 786.09 feet to a calculated point;

THENCE North 87 degrees 39 minutes 16 seconds West for a distance of 776.40 feet to a 3/8" DIAMETER RE-BAR FOUND, the True Point of Beginning.

Together with and subject to covenants, easements, and restrictions of record.

Said property contains 0.101 acre .

Exhibit "B"

All taxes for the year 2008 and subsequent years, not yet due and payable

Easement for Right-of-Way dated May 11, 1970, by and between McDonough-Locust Grove Transmission and William B. Orkin, recorded on June 4, 1970, in Book 113, page 3, aforesaid records.

Rights of others in and to dirt road located in northwest corner of the property, as described in Exhibit B of Deed recorded in Book 778, Page 144, aforesaid records.

One hundred (100) foot right of way traversing the southeast corner of the property, as described in Exhibit B of Deed recorded in Book 778, Page 144, aforesaid records.

Rights of upper and lower riparian owners in and to the waters of creeks and branches crossing and adjoining the property and the natural flow thereof free from diminution or pollution.

BOOK PAGE
010582 0133

DOCH 001942
FILED IN OFFICE
01/17/2008 02:49 PM
BK:10682 PG:133-136
JUDITH A LEWIS
CLERK OF SUPERIOR COURT
HENRY COUNTY

Judith A. Lewis
REAL ESTATE TRANSFER TAX
PAID: \$0.00

GLOVER & DAVIS, P.A.
Attorneys At Law
P.O. Drawer 1038
Newnan, Georgia 30264

QUIT CLAIM DEED

PT-81 075-2008-00374

GEORGIA, COWETA COUNTY.

IN CONSIDERATION OF OTHER GOOD AND VALUABLE CONSIDERATION AND TEN (\$10.00) DOLLARS, receipt whereof is hereby acknowledged, Nancy T. Benton, individually, and Nancy T. Benton, as Trustee of the Nancy Teem Benton Life Trust created pursuant to Item VII(c) of the Last Will and Testament of Louise Green Teem, Deceased, for the benefit of Nancy Teem Benton, first parties, do hereby remise, release, and forever quit-claim unto Norfolk Southern Railway Company, a Virginia corporation as to a ninety-four percent (94%) tenant in common interest and Alabama Great Southern LLC, a Virginia limited liability company as to a six percent (6%) tenant in common interest, successors and assigns, all of the rights, title, interest and equity first party owns or has in and to the following described property, to-wit:

A parcel or tract of land lying and being located in Henry County, Georgia, and being more fully described on Exhibit "A" which is attached hereto and mad a part hereof.

together with all rights, privileges, and appurtenances, thereto belonging in fee simple.

TO HAVE AND TO HOLD said property, so that neither first party, nor successors, or assigns, nor any other person holding under first party, shall have any right, title or interest or

+3

Return to: *HINKS*
Zonia N. Veal
First National Financial Title Services, Inc.
3237 Satellite Blvd., Suite 450
Duluth, GA 30096

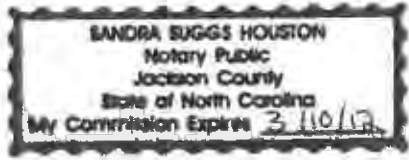
equity in same.

IN WITNESS WHEREOF, the said first parties have hereunto set their hands and seals
this 10th day of January, 2008.

Signed, sealed and delivered
In the presence of:

Michel Anis
Witness
[Signature]
Notary Public

Nancy T. Benton, individually (SEAL)
Nancy T. Benton, Individually



Signed, sealed and delivered
in the presence of:

Michel Anis
Witness
[Signature]
Notary Public

Nancy T. Benton, as trustee (SEAL)
Nancy T. Benton, as Trustee of the Nancy Teem Benton Life
Trust created pursuant to Item VII(c) of the Last Will and
Testament of Louise Green Teem, Deceased, for the benefit
of Nancy Teem Benton

Prepared by
Alan W. Jackson
Glover & Davis, P.A.
10 Brown Street
Newnan, GA 30263

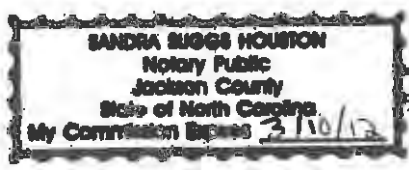


EXHIBIT "A"

LEGAL DESCRIPTION

ALL THAT TRACT OR PARCEL OF LAND, LYING AND BEING IN LAND LOT 250 AND 251 OF THE 7th LAND DISTRICT AND LAND LOT 246 OF THE 2nd LAND DISTRICT, HENRY COUNTY, STATE OF GEORGIA, AND BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS;

BEGINNING AT A 1/2" RE-BAR FOUND WHERE THE LAND LOT LINE COMMON TO LAND LOT 250 OF THE 7th DISTRICT AND THE LAND LOT LINE OF LAND LOT 247 OF THE 2nd DISTRICT INTERSECT THE SOUTHWESTERLY 150 FOOT RIGHT-OF-WAY OF THE NORFOLK-SOUTHERN RAILROAD, THE TRUE POINT OF BEGINNING;

THENCE North 86 degrees 58 minutes 36 seconds West for a distance of 2606.48 feet to 5/8" re-bar found;

THENCE South 03 degrees 08 minutes 08 seconds West for a distance of 1069.88 feet to a 3/8" crimp top pipe found on the Northeasterly Right-of-Way of Interstate Highway No. 75, a variable right-of-way at this point;

THENCE along the Right-of-way of Interstate Highway No. 75, North 29 degrees 07 minutes 50 seconds West for a distance of 55.87 feet to a concrete right-of-way monument;

THENCE North 20 degrees 02 minutes 11 seconds West for a distance of 499.05 feet to a concrete right-of-way monument;

THENCE North 23 degrees 31 minutes 31 seconds West for a distance of 399.24 feet to a concrete right-of-way monument; THENCE North 21 degrees 37 minutes 16 seconds West for a

distance of 696.74 feet to a concrete right-of-way monument; THENCE North 21 degrees 48 minutes 43 seconds West for a distance of 99.85 feet to a concrete right-of-way monument;

THENCE North 21 degrees 39 minutes 32 seconds West for a distance of 603.55 feet to a concrete right-of-way monument;

THENCE North 19 degrees 40 minutes 15 seconds West for a distance of 599.65 feet to a concrete right-of-way monument;

THENCE North 21 degrees 48 minutes 21 seconds West for a distance of 499.38 feet to a concrete right-of-way monument;

THENCE North 70 degrees 27 minutes 17 seconds East for a distance of 84.31 feet to a concrete right-of-way monument;

THENCE North 21 degrees 22 minutes 56 seconds West for a distance of 355.05 feet to a concrete right-of-way monument;

THENCE North 09 degrees 07 minutes 55 seconds West for a distance of 114.91 feet to a concrete right-of-way monument;

THENCE North 02 degrees 47 minutes 16 seconds East for a distance of 156.87 feet to a concrete right-of-way monument;

THENCE South 87 degrees 09 minutes 49 seconds West for a distance of 34.93 feet to a concrete right-of-way monument;

THENCE South 86 degrees 14 minutes 47 seconds West for a distance of 30.12 feet to a concrete right-of-way monument;

THENCE South 87 degrees 11 minutes 30 seconds West for a distance of 34.89 feet to a concrete right-of-way monument;

THENCE South 02 degrees 40 minutes 17 seconds West for a distance of 160.53 feet to a concrete right-of-way monument;

THENCE South 87 degrees 43 minutes 59 seconds West for a distance of 32.63 feet to a concrete right-of-way monument;

THENCE North 21 degrees 47 minutes 07 seconds West for a distance of 499.17 feet

to a concrete right-of-way monument;

THENCE North 24 degrees 25 minutes 16 seconds West for a distance of 35.32 feet to a 3/8" re-bar found, set in concrete;

THENCE, leaving the Right-of-Way of Interstate Highway No. 75, South 87 degrees 39 minutes 16 seconds East for a distance of 1294.34 feet to a 3/8" re-bar found, set in concrete, on the Southwesterly 150 ft. Right-of-Way of The Norfolk Southern Railroad;

THENCE along the Southwesterly 150 ft. Right-of-Way of The Norfolk Southern Railroad South 43 degrees 33 minutes 15 seconds East for a distance of 4397.54 feet to a 1/2" re-bar found, the True point of Beginning.

Together with and subject to covenants, easements, and restrictions of record.

Said property contains 156.874 acres.

154wleg.doc

**APPLICATION FOR ANNEXATION UNDER
THE ONE HUNDRED PERCENT (100%) METHOD**

Date of Submission: 3/23/2021

To the Mayor and City Council of the City of Locust Grove, Henry County, Georgia.

1. We, the undersigned, all of the owners of all real property of the territory described herein respectfully request that the City Council annex this territory to the City of Locust Grove, Georgia, and extend the City boundaries to include the same.
2. The territory to be annexed is unincorporated and contiguous (as described in O.C.G.A. 36-36-20) to the existing corporate limits of Locust Grove, Georgia, and the description of such territory is hereto attached as Exhibit A.

OWNERS NAME(S) SOUTHERN REGION INDUSTRIAL C/O NORFOLK SOUTHERN TAX
c/o The Galloway Law Group, LLC

PROPERTY LOCATION Between Interstate 75 and State Route 42 north of

Bethlehem Road

PHONE NUMBER (404) 965-3681

ALTERNATE PHONE (404) 965-3682

LAND LOT/DISTRICT Land Lots 230, 251 / District 7

ACREAGE Approx. 39.08

MAP CODE NO. 110-01019002

ZONING CLASSIFICATION M-2 Heavy Manufacturing

SIGNATURE(S) Malcolm G. Roop **Date** 3/17/2021

By: Malcolm G. Roop

As: Real Estate Manager

Date 3/17/2021

All property owners must sign as their name appears on the Deed.

FORM 1

Tract III

All that tract or parcel of land lying and being in Land Lot 246 of the 2nd District and Land Lots 250 & 251 of the 7th District of Henry County, Georgia and being more particularly described as follows:

COMMENCING at a 5/8" rebar found at the northwest corner of Land Lot 247, which is common to Land Lots 246 & 247, and the 2nd and 7th District Line; THENCE, southerly along the common line to Land Lots 246 & 247 a bearing of South 01 degrees 22 minutes 37 seconds West, a distance of 1,069.67 feet to a ¾" crimped-top pipe found on the northeasterly right-of-way of Interstate 75 (variable R/W); THENCE, northerly along said right-of-way of Interstate 75 the following courses and distances: North 30 degrees 54 minutes 57 seconds West, a distance of 55.83 feet to a right-of-way monument found; THENCE, North 21 degrees 47 minutes 08 seconds West, a distance of 498.90 feet to a right-of-way monument found; THENCE, North 25 degrees 15 minutes 46 seconds West, a distance of 399.26 feet to a right-of-way monument found; THENCE, North 23 degrees 20 minutes 53 seconds West, a distance of 696.97 feet to a point; THENCE, North 23 degrees 33 minutes 17 seconds West, a distance of 99.85 feet to a point; THENCE, North 23 degrees 25 minutes 47 seconds West, a distance of 602.87 feet to a right-of-way monument found; THENCE, North 21 degrees 23 minutes 16 seconds West, a distance of 600.34 feet to a point; THENCE, North 23 degrees 36 minutes 07 seconds West, a distance of 498.71 feet to a right-of-way found; THENCE, North 68 degrees 14 minutes 59 seconds East, a distance of 84.75 feet to a point; THENCE, North 23 degrees 12 minutes 46 seconds West, a distance of 354.06 feet to a right-of-way marker found; THENCE, North 10 degrees 53 minutes 33 seconds West, a distance of 115.04 feet to a right-of-way monument found; THENCE, North 01 degrees 02 minutes 56 seconds East, a distance of 156.82 feet to a right-of-way monument found; THENCE, South 85 degrees 18 minutes 57 seconds West, a distance of 34.96 feet to a right-of-way monument found; THENCE, South 84 degrees 24 minutes 49 seconds West, a distance of 30.08 feet to a right-of-way monument found; THENCE, South 85 degrees 40 minutes 15 seconds West, a distance of 34.56 feet to a right-of-way monument found; THENCE, South 01 degrees 00 minutes 21 seconds West, a distance of 160.61 feet to a right-of-way monument found; THENCE, South 85 degrees 52 minutes 04 seconds West, a distance of 32.64 feet to a right-of-way monument found; THENCE, North 23 degrees 31 minutes 52 seconds West, a distance of 499.15 feet to a right-of-way monument found; THENCE, North 25 degrees 11 minutes 22 seconds West, a distance of 35.32 feet to a point; said point also being the POINT OF BEGINNING;

THENCE, from the POINT OF BEGINNING and northerly continuing along the northeasterly right-of-way of Interstate 75 a bearing of North 27 degrees 52 minutes 56 seconds West, a distance of 964.10 feet to a point;

THENCE, North 27 degrees 40 minutes 38 seconds West, a distance of 383.21 feet to a 5/8" rebar found;

THENCE, easterly leaving said right-of-way a bearing of North 74 degrees 12 minutes 38 seconds East, a distance of 112.80 feet to a point on the common property line with ARC DBPGDYR001, LLC;

THENCE, easterly along said common property line a bearing of North 74 degrees 18 minutes 09 seconds East, a distance of 1,063.06 feet to a point;

THENCE, southerly a bearing of South 34 degrees 40 minutes 05 seconds East, a distance of 338.38 feet to a point on the westerly right-of-way of Norfolk Southern;

THENCE, southerly along said right-of-way the following courses and distances: South 15 degrees 41 minutes 51 seconds East, a distance of 375.24 feet to a point; THENCE, following a curve to the left having an arc length of 208.32 feet, a radius of 1921.94 feet and being subtended by a chord with a bearing of South 17 degrees 59 minutes 37 seconds East, a distance of 208.22 feet to a point; THENCE, following a curve to the left having an arc length of 689.65 feet, a radius of 1,921.94 feet and being subtended by a chord with a bearing of South 30 degrees 31 minutes 55 seconds East, a distance of

685.96 feet to a point; THENCE, following a curve to the left having an arc length of 126.80 feet, a radius of 3,955.51 feet and being subtended by a chord with a bearing of South 41 degrees 11 minutes 58 seconds East, a distance of 126.80 feet to a point on the common property line with Norfolk Southern, THENCE, westerly leaving said right-of-way along said common property line a bearing of North 89 degrees 22 minutes 50 seconds West, a distance of 1,293.49 feet to the POINT OF BEGINNING.

The herein described tract of land contains 1,702,411 square feet or 39.082 acres, more or less.

Affidavit of Title Book 1473 pg. 237

424

STATE OF TEXAS
HARRIS County. }

Notary Public for the State of Texas
My Comm. Expires 12-31-70
12-12-70
Notary Public

THIS INSTRUMENT, made this 9th day of September, in the year of Our Lord one thousand nine hundred seventy (1970), between

INDECO OIL COMPANY, a Delaware corporation, Grantor, party of the first part; and

WELBILT, INC., a Louisiana corporation, Grantee, party of the second part;

W I T N E S S E T H

THAT the said GRANTOR for and in consideration of the sum of TEN THOUSAND (\$10,000) and other good and valuable considerations in hand paid at and before the sealing and delivery of these presents, the receipt of which is hereby acknowledged, has granted, bargained, sold and conveyed, and by these presents does grant, bargain, sell and convey unto the said GRANTEE, its successors and assigns, the following described property: to wit,

ALL of those three (3) certain tracts or parcels of land situate, lying and being in Land Lots 229, 230, 231, 232, and 233 of the 7th Land District of Henry County, Georgia, more particularly described as follows:

PARCEL 1

BEGINNING at a point in the land lot line dividing Lots 231 and 230, said point being in the westerly boundary of the right of way of U. S. Highway No. 23; and running thence in a northerly direction along said westerly boundary of U. S. Highway No. 23, the following courses and distances: North 25° 16' West, 30.10 feet; thence North 20° 40' West, 276.32 feet; thence North 12° 32' West, 159.56 feet; thence North 8° 25' West, 199.93 feet; thence North 5° 16' 15" West, 2,666.3 feet to a point in Land Lot 215; thence, leaving said westerly boundary of the right of way of U. S. Highway No. 23, and running thence, South 62° 18' 15" East, 263.74 feet; thence North 23° 53' 15" West, 206.93 feet; thence North 66° 19' 49" West, 1,281.7 feet, more or less, to a point in the easterly boundary of the right of way of Southern Railway Company for its main track running between Atlanta and Macon, said point being 75 feet easterly from said main track, measured at a right angle, from its center line; thence, southeasterly along said easterly boundary of said right of way of Southern Railway Company, the following courses and distances: South 14° 23' 30" East, 2,600 feet; thence South 17° 22' 45" East, 291.71 feet; thence South 25° 09' 30" East, 189.60 feet; thence South 31° 14' East, 190.93 feet; thence South 37° 16' East, 190.85 feet; thence South 43° 17' 15" East, 258.31 feet, more or less, to the land lot line dividing Land Lots 230 and 231; thence, leaving

said easterly boundary of said right of way of Southern Railway Company and running thence South 16° 45' 25" East, along the land lot line dividing Land Lots 233 and 231, 232 and 233, a distance of 127.55 feet, more or less, to the point or place of beginning; containing 101.34 acres, more or less, and being located substantially as shown delineated in red on print of Drawing Number 5-134, dated August 12, 1973, herewith annexed and made a part hereof.

PARCEL 2

BEGINNING at the intersection of the land lot line dividing Land Lots 230 and 232 with the westerly boundary of the right of way of Southern Railway Company for said main track which said westerly boundary is located 75 feet from said main track westward at a right angle from its center line, said point being South 42° 45' East, 2,178.76 feet from the land lot corner dividing Land Lots 227, 230, 231 and 232; and running thence, Northwestwardly, along said westerly boundary of said right of way of Southern Railway Company, the following courses and distances: North 43° 47' 30" West, 124.31 feet; thence, North 37° 21' 33" West, 206.63 feet; thence, North 30° 29' West, 226.74 feet; thence, North 2° 49' 31" West, 222.15 feet; thence North 17° 30' 30" West, 235.27 feet; thence, North 14° 55' 3" West, crossing the land lot line dividing Land Lots 229 and 233, a distance of 1,634.35 feet; thence, leaving said westerly boundary of said right of way of Southern Railway Company and running thence, North 48° 15' 30" West, a distance of 2,297.28 feet, more or less, to the easterly right of way boundary of Interstate Highway No. 1-75; thence, Southeastwardly, along said easterly right of way boundary of said Interstate Highway No. 1-75, the following courses and distances: running along a curve to the right having a radius of 5,275.6 feet for an arc distance of 766.55 feet, said curve having a chord bearing of South 31° 21' East, and a chord distance of 766.23 feet; thence, South 28° 36' 15" East, 14.55 feet; thence, South 23° 15' East, 161.83 feet; thence, South 26° 23' 20" East, 412.42 feet; thence, South 27° 33' 33" East, 371.25 feet, crossing the land lot line dividing Land Lots 229 and 233; thence, South 28° 12' 15" East, 505.11 feet; thence, South 19° 59' East, 52.61 feet; thence, South 27° 10' East, 615.09 feet, more or less, to the land lot line dividing Land Lots 229 and 233; thence, South 26° 43' 49" East, 153.24 feet; thence, South 13° 04' East, 201.12 feet; thence, South 26° 49' 30" East, 500.10 feet; thence, South 27° 19' 15" East, 567.58 feet, more or less, to the land lot line dividing Land Lots 231 and 232; thence, along said land lot line, South 68° 42' 45" East, 1,295.49 feet, more or less, to the point or place of beginning; containing 265.07 acres, more or less, and being located substantially as shown delineated in red on said annexed print of Drawing Number 5-134.

PARCEL 3

BEGINNING at the land lot corner dividing Land Lots 229, 230, 231 and 232, and running thence, South 68° 42' 45" East, along the land lot line dividing Land Lots 230 and 231, 175.92 feet; thence, along the westerly right of way boundary of Interstate Highway 1-75, North 22° 32' 30" West, 66.35 feet; thence, continuing along said westerly boundary

of I-75, North 84° 21' West, 311.70 feet, more or less, to the land lot line dividing Land Lots 229 and 230; thence, South 0° 46' West, along the line dividing Land Lots 229 and 230, 350.23 feet, more or less, to the point or place of beginning; containing 0.51 of an acre, more or less, and being located substantially as shown delineated in red on said annexed print of Drawing Number 5-434.

TO HAVE AND TO HOLD the same bargained premises, together with all and singular the rights, members and appurtenances thereof, to the same being, belonging or in any wise incident or appertaining, to the only proper use, benefit and behoof of the said WELBICK, INC., party of the second part, its successors and assigns, forever, in fee simple.

AND the said TENECCO OIL COMPANY, party of the first part, for itself, its successors and assigns, will warrant and forever defend the right and title to the above described property unto the said WELBICK, INC., party of the second part, its successors and assigns, against the claims of all persons whatsoever, claiming by, through and under Tenecco Oil Company and no further.

IN WITNESS WHEREOF, Tenecco Oil Company has caused these presents to be executed, and its corporate seal to be hereunto affixed and attested, by its officers thereunto duly authorized, the day and year first above written.

Signed, sealed and delivered
in presence of:

TENECCO OIL COMPANY,
By

E. L. ...
John ...
Notary Public
(Notarial Seal)

... (L. R. DuCloy)
Vice President.

L. S.
ATTORNEY

My commission expires

RAM MOORE
Notary Public in and for North Carolina, State
My Commission Expires Aug 1, 1971.

... (Ralph S. Hayward)
Vice Secretary, Ralph S. Hayward
(CORP. SEAL)

-3-

Filed for record September 15, 1970 at 9:00 A. M.

Recorded September 18, 1970

... (Clark)
(Clark)

FILED IN OFFICE
CLERK SUPERIOR COURT
HENRY COUNTY, GA.

JUL 10 9 39 AM '72

AFFIDAVIT OF FACTS AFFECTING ~~1972~~ ¹⁹⁷¹
DATE RECORDED ~~7/10/72~~ ^{7/10/71}
FILED

STATE OF GEORGIA
COUNTY OF BIBB

RE: Affidavit made by Ellsworth Hall, Jr.,
Division Counsel, Georgia, Southern
Railway Company, under terms of
Georgia Laws 1955, pages 614 and 615
(codified as Section 38-638, et seq.
Georgia Code Ann. Supp.), relating to
the title of Georgia Industrial Realty
Company, the present or former owner
of lands described in a deed to Wallrick,
Inc., recorded in Deed Book 115, pages
424-426, Clerk's Office, Henry County
Superior Court

Personally before the undersigned attesting officer authorized to
administer oaths appeared Ellsworth Hall, Jr., who being first duly sworn
deposes and says:

That he is Division Counsel, Southern Railway Company - Georgia.

That prior to its merger with and into Georgia Industrial Realty
Company, Wallrick, Inc., was a Louisiana corporation which was a wholly
owned subsidiary of the Southern Railway Company.

That Georgia Industrial Realty Company, the surviving corporation
in the merger referred to above, was prior to the merger and continues to
be a wholly owned subsidiary of Southern Railway Company.

That Georgia Industrial Realty Company is a Georgia corporation
chartered in Fulton County, Georgia, with its principal office located at
99 Spring Street, S. W., Atlanta, Georgia 30303.

Deponent further states that Wallrick, Inc., was on the 30th day of
November, 1970, duly merged by the Superior Court of Fulton County,
Georgia, into and with Georgia Industrial Realty Company, the surviving
corporation in said merger. The surviving corporation, Georgia Industrial

Affidavit of Title Book 149 Page 228

Realty Company, by virtue of the merger took title to all of the assets, both real and personal, owned by Wellrick, Inc. The merger was the result of proceedings which are of record in the Superior Court of Fulton County, Georgia, and which are also of record with the Secretary of State of Georgia.

Deponent makes this affidavit for the purpose of being recorded in the Clerk's Office, Henry County Superior Court, in accordance with Georgia Laws 1955, pages 614 and 615 (codified as Sections 38-638, et seq. of the Code of Georgia Annotated, 1933, as amended).

[Signature]
Hilsworth Hall, Jr.
Deponent

Sworn to and subscribed before me

This 26 day of June, 1977:



Mary T. Weaver
Notary Public

COMMISSION EXPIRES APRIL 2, 1978

Clerk: Please cross-reference to all
Deed Book and pages listed below.
BOOK 1473 PAGE 237

AFFIDAVIT OF TITLE

**STATE OF GEORGIA
COUNTY OF FULTON**

- In re:
1. Property of Wellrick, Inc. recorded at Deed Book 115, page 424, Henry County, Georgia Records, Wellrick, Inc. being merged into Georgia Industrial Realty Company, a Georgia corporation, as per Affidavit recorded at Deed Book 149, page 228, Henry County, Georgia Records, and
 2. Property of Georgia Industrial Realty Company, a Georgia corporation, recorded at Deed Book 114, page 545, Henry County, Georgia Records.

BEFORE ME, THE UNDERSIGNED attesting authority in and for said State and County, came the undersigned deponent, who being duly sworn deposes and says on oath that this affidavit relates to the property of the owner designated in the caption hereof as the same is described in the deed book and page herein referred to. Said deponent makes the following statement under oath as being relevant and material to the ownership of property:

Attached hereto as EXHIBIT "A" is the statement of Roger D. Powers, Assistant Corporate Secretary of Southern Region Industrial Realty, Inc., certifying that Georgia Industrial Realty Company changed it's name to Southern Region Industrial Realty, Inc.

Sworn to and subscribed before me
this 8th day of July, 1992:



Gregory D. Hughes
 GREGORY D. HUGHES, AFFIANT AND
 DEPONENT

RECORDED IN BOOK 1473
 PAGE 237
 DATE JUL 10 11 58 AM '92

(0332L)

CLERK OF SUPERIOR COURT
HENRY COUNTY, GA.

13587

BOOK 1473 PAGE 238

EXHIBIT "A"

I, Roger D. Powers, Assistant Corporate Secretary of Southern Region Industrial Realty, Inc., hereby certify that the name of Georgia Industrial Realty Company was changed to Southern Region Industrial Realty, Inc., effective April 1, 1974, in accordance with Articles of Amendment filed with the Secretary of the State of Georgia on April 1, 1974.

Roger D. Powers

Assistant Corporate Secretary
Southern Region Industrial Realty, Inc.

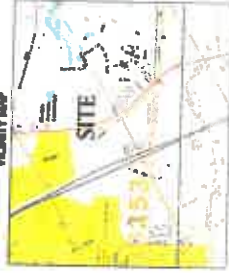
BETHLEHEM ROAD

LAND LOTS 230, 240, 247, 250, & 251
HENRY COUNTY, GEORGIA

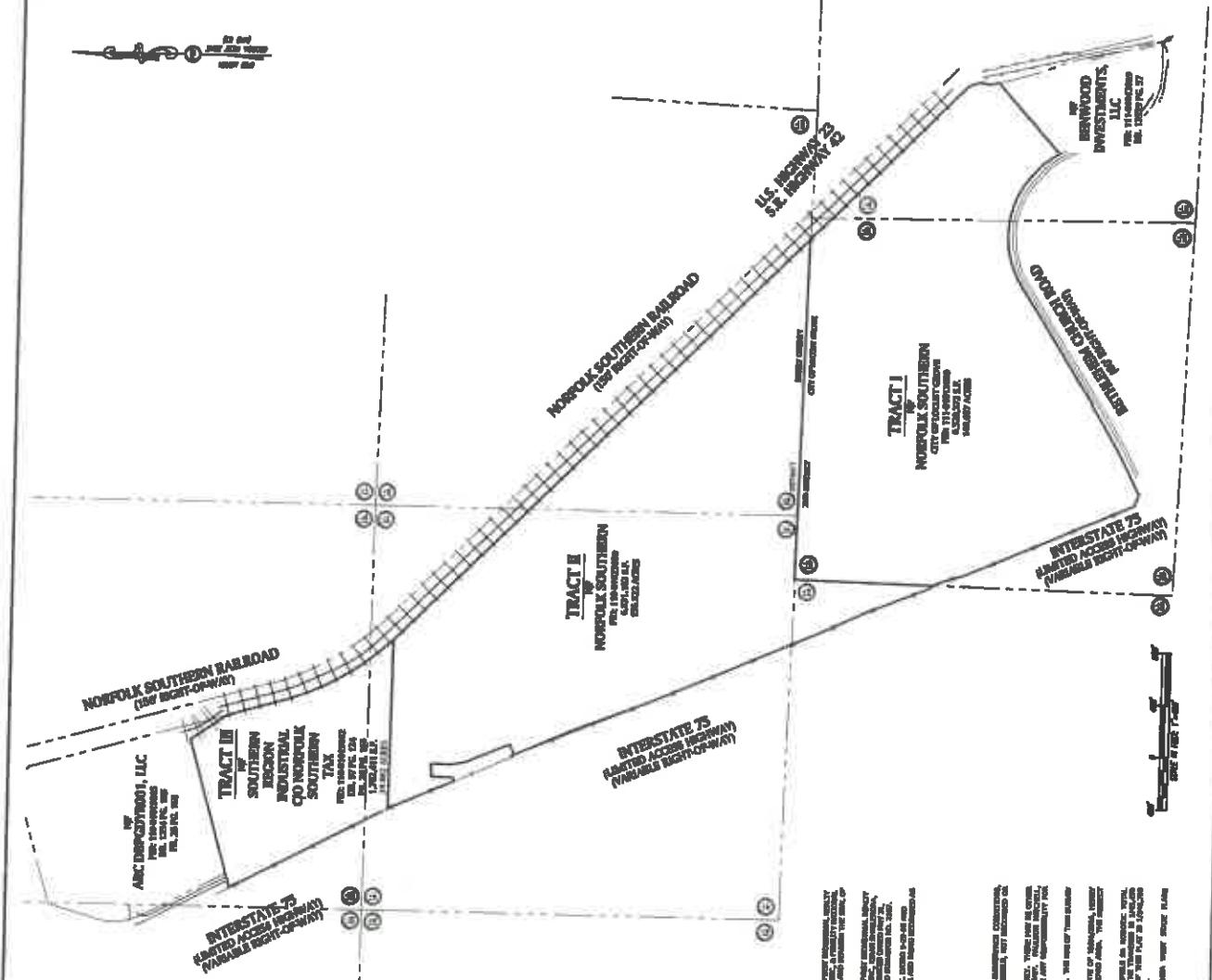
BOUNDARY SURVEY

PAULSON MITCHELL
INCORPORATED
2540 N. 10TH ST. SUITE 200
DUNWOODY, GEORGIA 30015
TEL: 404.473.8800
WWW.PM-INC.COM

REVISIONS
NO. DESCRIPTION DATE
1. CORRECTED TO SHOW...
2. CORRECTED TO SHOW...
3. CORRECTED TO SHOW...



- PROPERTY IDENTIFICATION**
- PROFESSIONAL, SURVEY, INCORPORATED
 - ACTIVITY: SURVEYING
 - PROJECT NO.: 2012-001
 - TRACT NO.: 1-11-11-11-11-11-11
 - TRACT NO.: 1-11-11-11-11-11-11-11
 - TRACT NO.: 1-11-11-11-11-11-11-11-11



INTERSTATE 75 LIMITED ACCESS HIGHWAY (VARIABLE RIGHT-OF-WAY)

INTERSTATE 75 LIMITED ACCESS HIGHWAY (VARIABLE RIGHT-OF-WAY)

INTERSTATE 75 LIMITED ACCESS HIGHWAY (VARIABLE RIGHT-OF-WAY)

INTERSTATE 75 LIMITED ACCESS HIGHWAY (VARIABLE RIGHT-OF-WAY)

INTERSTATE 75 LIMITED ACCESS HIGHWAY (VARIABLE RIGHT-OF-WAY)

INTERSTATE 75 LIMITED ACCESS HIGHWAY (VARIABLE RIGHT-OF-WAY)

INTERSTATE 75 LIMITED ACCESS HIGHWAY (VARIABLE RIGHT-OF-WAY)



City of Locust Grove

P.O. Box 900 Locust Grove, Georgia 30248-0900

Telephone (770) 957- 5043 Fax: 1-866-364-0996

MAYOR

Robert Price

COUNCIL

Rudy Breedlove

Kelth Boone

Randy Gardner

Carlos Greer

Rod Shearouse

Willie J. Taylor

CITY MANAGER

Tim Young

CITY CLERK

Misty Spurling

September 24, 2020

To Prospective City Residents/Business Owners:

RE: Process of annexation into the City of Locust Grove

Thank you for your interest in annexation into the City of Locust Grove. Below are some of the benefits or advantages of becoming a city resident:

- Police Protection provided by the city that is typically closer as compared to dispatches from Henry County PD.
- Weekly trash collection at a cost of \$13.50 per month (current rate).
- For bulk items, the city operates a central trash facility open on Wednesday and Saturday for a fee of \$10 per vehicle/trailer.
- Taxes: The City of Locust Grove does not currently assess an ad valorem property tax. Furthermore, properties within the city are subject to a millage differential of 2.1 mils. This means that properties within the city limits are subject to lower taxation than in unincorporated Henry County. (Note: this is of 2020. The city works diligently to keep taxes low; however, tax rates are always subject to the maintenance and operations needs of the city versus the available revenue sources.)

If interested in annexation, please fill out the 100% and respective 60% forms (if instructed). We will need four (4) original, signed copies of the annexation request form, a deed of ownership, and a survey plat of the respective property(ies). After this information is received, we must verify ownership, location to existing city limits in terms of ability to be annexed by state law and local service delivery strategy and confirm existing and/or proposed zoning.

Once accepted upon verification, the city must furnish notice to Henry County of the intent to annex, along with any possible zoning change. After 30 days of notice to Henry County, the city will schedule a hearing to take action on the actual annexation barring any possible dispute raised by the county.

Should you have further questions, please feel free to contact me at (770) 957-5043.

Tim Young, City Manger

Cc: Robert Price, Mayor
Bert Foster, Assistant City Manager
Misty Spurling, City Clerk

LOCUST
GROVE

APPLICATION FOR ANNEXATION

Dear Land Owner:

The enclosed forms are required to be filled out in order for the Mayor and City Council of the City of Locust Grove, Georgia, to consider annexing territory into the City limits. Please complete Form 1 in its entirety. If you and/or anyone else resides on the property which you would like to annex, also complete Form 2. If no one resides on the property which you would like to annex, complete Form 3. Please complete two of the applicable annexation applications.

In addition to completing these annexation forms, you will also need to submit your deed, a plat of survey and legal description pertaining to the property the application is being made on. Your deed may already contain the legal description and plat of survey.

Should you have any questions or need assistance regarding this annexation process, do not hesitate to contact the City Clerk at (770) 957-5043

Items 1, 2, and 3.
 name and address on the reverse
 can return the card to you.
 card to the back of the mailpiece,
 front if space permits.

Addressed to:
**COUNTY BOARD OF
 COMMISSIONERS
 CARLOTTA HARRELL, CHAIR
 140 HENRY PARKWAY
 MCDONOUGH GA 30253**



9402 5857 0038 5705 30

Number (Transfer from service label)

7016 0600 0001 2128 2860

July 2015 PSN 7530-02-000-9053

COMPLETE THIS SECTION ON DELIVERY

A. Signature Agent Addressed
[Signature]

B. Received by (Printed Name) *A Wilkerson* C. Date of Delivery *3/31/21*

D. Is delivery address different from item 1? Yes
 if YES, enter delivery address below: No

3. Service Type

Adult Signature Priority Mail Express®
 Adult Signature Restricted Delivery Registered Mail™
 Certified Mail® Registered Mail Restricted Delivery
 Certified Mail Restricted Delivery Return Receipt for Merchandise
 Collect on Delivery Signature Confirmation™
 Collect on Delivery Restricted Delivery Signature Confirmation Restricted Delivery
 Restricted Delivery

Domestic Return Receipt

7016 0600 0001 2128 2853

CERTIFIED MAIL® RECEIPT
 Domestic Mail Only

For delivery information, visit our website at www.usps.com.

McDonough, GA 30253

OFFICIAL USE

Certified Mail Fee \$3.60

Extra Services & Fees (check box, add fee in parentheses)
 Return Receipt (hardcopy) \$0.00
 Return Receipt (electronic) \$0.00
 Certified Mail Restricted Delivery \$0.00
 Adult Signature Required \$0.00
 Adult Signature Restricted Delivery \$0.00

Postage \$8.55

Total Postage and Fees \$12.15

0266 03
 Postmark Here
 03/26/2021

**HENRY COUNTY BOARD OF COMMISSIONERS
 ATTN CARLOTTA HARRELL, CHAIR
 140 HENRY PKY
 MCDONOUGH GA 30253**

PS Form 3800, April 2015 PSN 7530-02-000-9047 See Reverse for Instructions

7016 0600 0001 2128 2860

CERTIFIED MAIL® RECEIPT
 Domestic Mail Only

For delivery information, visit our website at www.usps.com.

McDonough, GA 30253

OFFICIAL USE

Certified Mail Fee \$3.60

Extra Services & Fees (check box, add fee in parentheses)
 Return Receipt (hardcopy) \$0.00
 Return Receipt (electronic) \$0.00
 Certified Mail Restricted Delivery \$0.00
 Adult Signature Required \$0.00
 Adult Signature Restricted Delivery \$0.00

Postage \$0.55

Total Postage and Fees \$4.15

0266 07
 Postmark Here
 03/29/2021

**HENRY COUNTY BOARD OF COMMISSIONERS
 ATTN CARLOTTA HARRELL, CHAIR
 140 HENRY PARKWAY
 MCDONOUGH GA 30253**

PS Form 3800, April 2015 PSN 7530-02-000-9047 See Reverse for Instructions

SENDER: COMPLETE THIS SECTION

- Complete Items 1, 2, and 3.
- Print your name and address on the reverse so that we can return the card to you.
- Attach this card to the back of the mailpiece, or on the front if space permits.

1. Article Addressed to:
**HENRY COUNTY BOARD OF COMMISSIONERS
 ATTN CARLOTTA HARRELL, CHAIR
 140 HENRY PKY
 MCDONOUGH GA 30253**

9590 9402 5857 0038 5705 16

2. Article Number (Transfer from service label)
7016 0600 0001 2128 2853

COMPLETE THIS SECTION ON DELIVERY

A. Signature Agent Addressed
[Signature]

B. Received by (Printed Name) *A Wilkerson* C. Date of Delivery *3/29/21*

D. Is delivery address different from item 1? Yes
 if YES, enter delivery address below: No

3. Service Type

Adult Signature Priority Mail Express®
 Adult Signature Restricted Delivery Registered Mail™
 Certified Mail® Registered Mail Restricted Delivery
 Certified Mail Restricted Delivery Return Receipt for Merchandise
 Collect on Delivery Signature Confirmation™
 Collect on Delivery Restricted Delivery Signature Confirmation Restricted Delivery

PS Form 3811, July 2015 PSN 7530-02-000-9053

Domestic Return Receipt

EXHIBIT B



REZONING EVALUATION REPORT

June 21, 2021

FILE: RZ-21-03-02

ANNEXATION & REZONING

Property Information

Tax ID	110-01019002 & 110-01023000
Location/address	Land Lots 230, 246, 250, 251 of the 2 nd and 7 th Districts/north of Bethlehem Road between Interstate 75 and State Route 42
Parcel Size	39.08 +/- acres and 156.82 +/- acres
Current Zoning	M-2 (County Heavy Manufacturing) and RA (County Residential Agricultural) to M-2 (City Heavy Manufacturing) and RA (City Residential Agricultural)
Request	Annex and Rezone M-2-zoned and RA-zoned properties from unincorporated Henry County into the City of Locust Grove with an M-2 and RA zoning
Proposed Use	Future Potential Warehousing and Distribution
Existing Land Use	Vacant/residential agricultural and heavy Industrial zoned properties in unincorporated Henry County
Future Land Use	Industrial (unincorporated Henry County)
Recommendation	Approval

Summary

The Galloway Law Group, LLC, of Atlanta, GA, has submitted an application requesting annexation of 156.82 +/- acres and 39.08 +/- acres of property located north of Bethlehem Road between Interstate 75 and State Route 42 (Parcel IDs: 110-01023000 and 110-01019002) in Land Lots 246, 250, and 251 of the 2nd and 7th Districts. The properties are zoned RA (Residential Agricultural) and M-2 (Heavy Manufacturing), having a future land use designation of Industrial, and will remain so if incorporated into the City. The Applicant is utilizing the 100% method per O.C.G.A. §36-36-20. The Henry County Board of Commissioners raised no objections to this annexation during their April 20, 2021 meeting.



REZONING EVALUATION REPORT

June 21, 2021

FILE: RZ-21-03-02

ANNEXATION & REZONING

Service Delivery / Infrastructure

Water and Sewer: According to the City of Locust Grove Public Works Department, the subject properties will be serviced by the Henry County Water Authority for water and sewer services. The subject properties are not located within any Watershed Protection Areas.

Police Services: If the Subject Property is annexed into the city limits, it will be placed on a regular patrol route.

Fire: Fire and emergency services will be performed by Henry County as is the case in other areas of the City.

Transportation Impacts: There are no discernible increases or changes to transportation patterns in the vicinity as a result of this request, given the commercial and industrial character of the neighboring area along State Route 42 remaining the same, if annexed into the City of Locust Grove. If and when future development of the subject properties occur, transportation impacts will be analyzed at that time.

Criteria for Evaluation of Rezoning Request

Section 17.04.315 Procedure for Hearing before City Council.

- (a) All proposed amendments to this chapter or to the official zoning map with required site plans shall be considered at public hearing. The City Council shall consider the following:
- (1) The possible effects of the change in the regulations or map on the character of a zoning district, a particular piece of property, neighborhood, a particular area, or the community. No impacts on the character of the particular area are anticipated as a result of this request given the zoning on the Subject Properties are going from RA-County to RA-City and M-2-County to M-2-City as part of an annexation request.
 - (2) The relation that the proposed amendment bears to the purpose of the overall zoning scheme with due consideration given to whether or not the proposed change will help carry out the purposes of this Chapter. The request will continue the residential/agricultural and industrial uses of the subject properties as it transitions from the unincorporated area of Henry County into the city limits of Locust Grove.
 - (3) Consistency with the Land Use Plan. The request is consistent with the County's Future Land Use Plan and development patterns in the immediate areas.

Preserving the Past... ..Planning the Future



REZONING EVALUATION REPORT

June 21, 2021

FILE: RZ-21-03-02

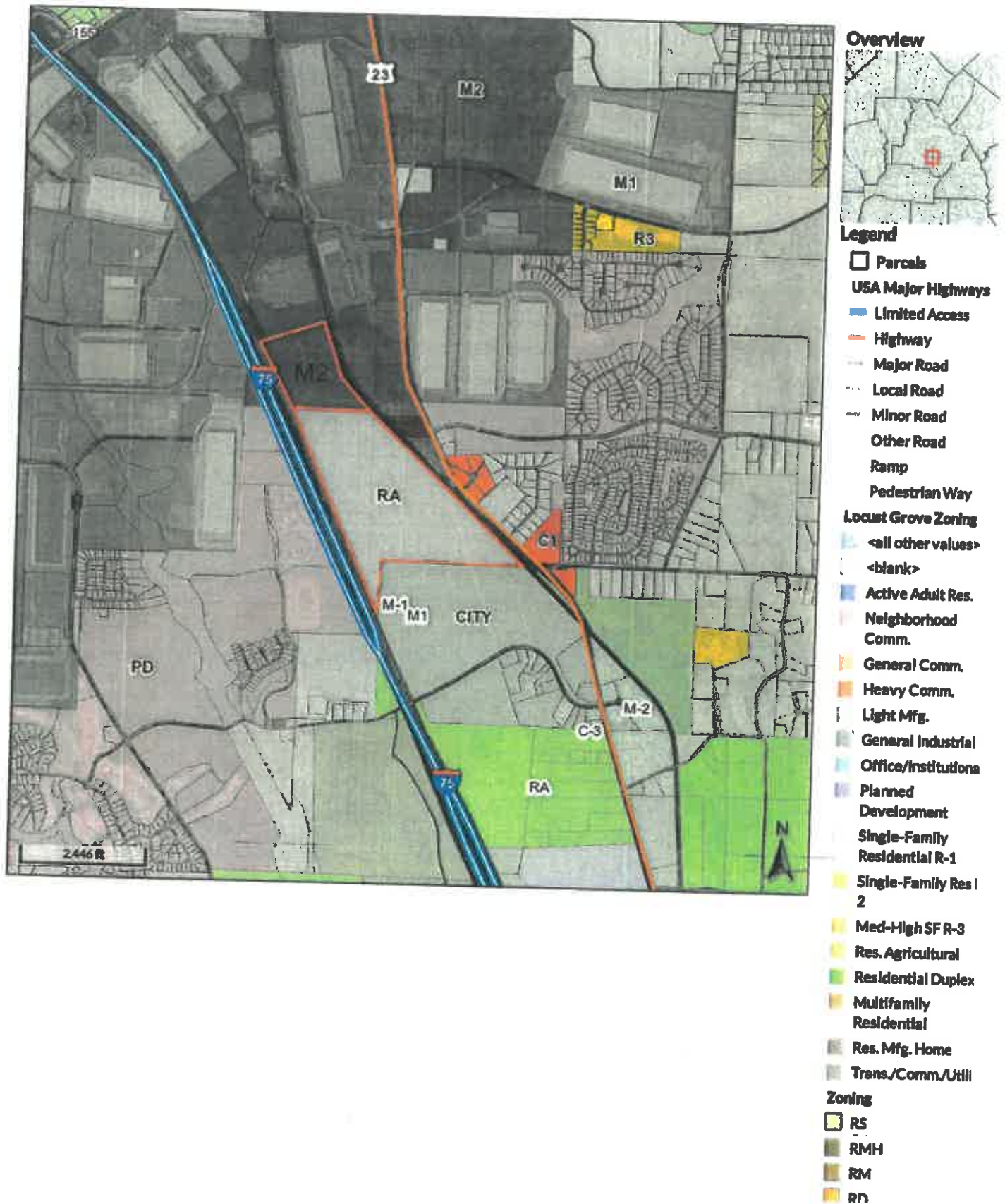
ANNEXATION & REZONING

- (4) **The potential impact of the proposed amendment on City infrastructure including water and sewerage systems.** There are no impacts to the City's infrastructure given the subject properties will not discontinue the current rural and single-family residential and industrial uses.
- (5) **The impact of the proposed amendment on adjacent thoroughfares and pedestrian vehicular circulation and traffic volumes.** No impacts are anticipated as a result of granting this request.
- (6) **The impact upon adjacent property owners should the request be approved.** There are no plans to change the manner in which the subject properties are utilized; therefore, impacts on adjacent property owners should be no more than they are at the present time.
- (7) **The ability of the subject land to be developed as it is presently zoned.** Currently, the subject properties are vacant but may be developed into permitted uses granted by the RA (Residential Agricultural) and M-2 (Heavy Manufacturing) zoning district both in the City and unincorporated County.
- (8) **The physical conditions of the site relative to its capability to be developed as requested, including topography, drainage, access, and size and shape of the property.** There are no known physical conditions or limitations that could preclude the use of the subject property.
- (9) **The merits of the requested change in zoning relative to any other guidelines and policies for development which the Community Development Commission and City Council may use in furthering the objectives of the Land Use Plan.** The merits are consistent with both the City's zoning ordinance and with future and existing development patterns in the area.

Recommendation

Taking into consideration that the annexation request meets all of the legalities required by the Georgia Annexation Law, staff recommends APPROVAL of the applicants request to annex the subject properties into the City of Locust Grove and rezone the subject properties from RA (Residential Agricultural) unincorporated Henry County to RA (Residential Agricultural) City of Locust Grove and M-2 (Heavy Manufacturing) unincorporated Henry County to M-2 (General Industrial) City of Locust Grove.

Preserving the Past... .. Planning the Future



2018 Henry County Future Land Use Map



April 1, 2021

Draft Future Land Use

Low Density Residential

Medium Density Residential

High Density Residential

Commercial

Public Institutional

Industrial

Transportation/Communications/Utilities

Parks and Conservation

1:18,000

0 0.17 0.35 0.7 mi

0 0.3 0.6 1.2 km

USDA, FWS, Georgia, Minor, End Community Usage Guidelines, Soil, HERR, Georgia, Subsoils, INCORPORATED P. METROLOGIA, USGS, EPA, NPS, US Census Bureau, USDA

Henry County 2018 – Future Land Use Map

Subject Properties ● -- Industrial



EXHIBIT C

JONESBORO GROUP
SCNI D/B/A GRAY PUBLISHING
PO BOX 1286
LAWRENCEVILLE GA 30046
(770) 963-9205

ORDER CONFIRMATION (CONTINUED)

Salesperson: DAWN WARD

Printed at 05/07/21 09:46 by dward-1v

Acct #: 119830

Ad #: 35729

Status: New

Public Hearing Notice
City of Locust Grove
June 21, 2021
8:00 PM
Locust Grove
Public Safety Building
3640 Highway 42 South
Locust Grove, GA 30246

Notice is hereby given as required by Chapter 88 of Title 36 of the Official Code of Georgia Annotated ("Zoning Procedures Law") and Section 17.04 of the Code of Ordinances, City of Locust Grove, Georgia, that the Locust Grove City Council, on Monday, June 21, 2021, at 8:00 PM, will conduct public hearings for the purpose of the following:

ANNEXATION
M2-21-00-02 (Annexation)
The Galloway Law Group, LLC has submitted an application requesting annexation of 156.82 +/- acres and 34.08 +/- acres of property located north of Bethlehem Road between Interstate 76 and State Route 42 (Parcel IDs: 110-01023000 and 110-01019002) in Land Lots 246, 250, and 251 of the 2nd and 7th Districts. The properties are zoned RA (Residential Agricultural) and M-2 (Heavy Manufacturing), having a future land use designation of Industrial, and will remain so if incorporated into the City.

The public hearing will be held in the Locust Grove Public Safety Building, located at 3640 Highway 42 South.

Daunté Gibbs
Community Development
Director -
City of Locust Grove
35729-5/10/2021

AFFIDAVIT OF SIGN POSTING

Personally appeared, before the undersigned officer duly authorized to administer oaths, Mr. Brian Fornal, who, after being duly sworn, testifies as follows:

1.

My name is Brian Fornal. I am over twenty-one years of age and competent to give this, my affidavit, based upon my personal knowledge.

2.

The Galloway Law Group, LLC has submitted an application requesting annexation of 156.82 +/- acres and 39.08 +/- acres of property located north of Bethlehem Road between Interstate 75 and State Route 42 (Parcel IDs: 110-01023000 and 110-01019002) in Land Lots 246, 250, and 251 of the 2nd and 7th Districts. The properties are zoned RA (Residential Agricultural) and M-2 (Heavy Manufacturing), having a future land use designation of Industrial, and will remain so if incorporated into the City.

3.

On the 19th day of May 2021, I, Brian Fornal, posted double-sided sign notifications on the property advertising a public hearing on the above requests to be heard by the Locust Grove City Council on the 21st day of June 2021 at 6:00 p.m. at the Locust Grove Public Safety Building, 3640 Highway 42, Locust Grove, Georgia 30248. Photographs of same are attached hereto as Exhibit "A" and incorporated herein by reference. The public hearing signs were posted at the following locations:

- 1) Double-sided signs were posted at 9:55 a.m. on Hwy 42 North of the City by Harris Drive on 5/17/2021.

FURTHER AFFIANT SAYETH NOT.

This 17th day of May 2021.


Affiant

Sworn and subscribed before me
this 17th day of May

Markeya Moore
Notary Public



Exhibit "A"

Signs Posted – May 17, 2021 9:55 a.m. On Hwy. 42 north of the city by Harris Drive





Community Development Department

P. O. Box 900
Locust Grove, Georgia 30248
Phone: (770) 957-5043
Facsimile (770) 954-1223

Item Coversheet

Item: An ordinance for annexation and rezoning of 39.08 +/- acres and 156.82 +/- acres located North of Bethlehem Road between Interstate 75 and State Route 42 (Parcel IDs: 110-01019002 & 110-01023000) in Land Lots 230, 246, 250, 251 of the 2nd and 7th District.

Action Item: Yes No

Public Hearing Item: Yes No

Executive Session Item: Yes No

Advertised Date: May 19, 2021

Budget Item: No

Date Received: March 23, 2021

Workshop Date: June 21, 2021

Regular Meeting Date: July 6, 2021

Discussion:

The Galloway Law Group, LLC, of Atlanta, GA requests annexation and rezoning of 39.08 +/- acres and 156.82 +/- acres located North of Bethlehem Road between Interstate 75 and State Route 42 (Parcel IDs: 110-01019002 & 110-01023000) in Land Lots 230, 246, 250, and 251 of the 2nd and 7th District utilizing the 100% method per O.C.G.A. §36-36-20. The properties are currently zoned RA (Residential Agricultural) and M-2 (Heavy Manufacturing) and will remain so if incorporated into the City. The Henry County Board of Commissioners raised no objections to this annexation during their April 20, 2021 meeting.

Water and Sewer: According to the City of Locust Grove Public Works Department, the subject properties will be serviced by the Henry County Water Authority for water and sewer services. The subject properties are not located within any Watershed Protection Areas.

Police Services: If the Subject Properties are annexed into the city limits, it will be placed on a regular patrol route.

Fire: Fire and emergency services will be performed by Henry County as is the case in other areas of the City.

Transportation Impacts: There are no discernible increases or changes to transportation patterns in the vicinity as a result of this request, given the commercial and industrial character of the neighboring area along State Route 42 remaining the same, if annexed into the City of Locust Grove. If and when future development of the subject properties occur, transportation impacts will be analyzed at that time.

Recommendation:

Taking into consideration that the annexation request meets all of the legalities required by the Georgia Annexation Law, staff recommends approval of the applicant's request.

I MOVE TO (approve/deny/table) THE ANNEXATION AND REZONING OF THE SUBJECT PROPERTIES (PARCEL ID: 110-01019002 & 110-01023000) LOCATED NORTH OF BETHLEHEM ROAD BETWEEN INTERSTATE 75 AND STATE ROUTE 42 IN LAND LOTS 230, 246, 250, AND 251 OF THE 2ND AND 7TH DISTRICT.

ORDINANCE NO. _____

AN ORDINANCE TO REZONE APPROXIMATELY 39.08 +/- ACRES AND 156.82 +/- ACRES LOCATED NORTH OF BETHLEHEM ROAD BETWEEN INTERSTATE 75 AND STATE ROUTE 42 IN LAND LOTS 230, 246, 250 AND 251 OF THE 2ND AND 7TH DISTRICT WITHIN THE CITY OF LOCUST GROVE, GEORGIA; TO PROVIDE AN EFFECTIVE DATE; AND FOR OTHER PURPOSES

WHEREAS, the City of Locust Grove ("City") is a municipal corporation, duly organized and existing under the laws of the State of Georgia; and,

WHEREAS, The Galloway Law Group, LLC, of Atlanta, GA, (the "Applicant") petitioned the City to annex and rezone properties located north of Bethlehem Road between Interstate 75 and State Route 42 consisting of 39.08 +/- acres and 156.82 +/- acres (Parcel IDs: 110-01019002 & 110-01023000) totaling 195.90 +/- acres, located in Land Lots 230, 246, 250, and 251 of the 2nd and 7th District (the "Properties") attached hereto as **Exhibit A**; and,

WHEREAS, the Applicant filed a request to annex and rezone the subject Properties into the City of Locust Grove on March 23, 2021, as shown in the staff report attached hereto and incorporated herein by reference as **Exhibit B**; and,

WHEREAS, the City of Locust Grove accepted the application for annexation on March 24, 2021; and,

WHEREAS, THE City of Locust Grove provided notice of the annexation to the Henry County Board of Commissioners on March 29, 2021 by certified mail; and,

WHEREAS, the Henry County Board of Commissioners reviewed the Applicant's request during their April 20, 2021 meeting and raised no objections to said request; and,

WHEREAS, said request has been reviewed by the Mayor and City Council at a Public Hearing held on June 21, 2021 as well as by the City Community Development Director; and,

WHEREAS, the Applicant requested that the Properties retain the same zoning in the City (RA: Residential Agricultural and M-2: Heavy Manufacturing) that they had in the County (RA: Residential Agricultural and M-2: Heavy Manufacturing), addressed under a separate action; and,

WHEREAS, notice of this matter (as attached hereto and incorporated herein as **Exhibit C**) has been provided in accordance with applicable state law and local ordinances; and,

WHEREAS, the Mayor and City Council have reviewed and considered the Applicant's request and both the recommendations of the public hearing and City staff as presented in the Report.

THEREFORE, THE COUNCIL OF THE CITY OF LOCUST GROVE HEREBY ORDAINS:

1.

- That the request for rezoning is hereby **APPROVED**.
- That the request for rezoning is hereby **DENIED**.

2.

That the use of the Properties is subject to:

- The condition(s) set forth on **Exhibit D** attached hereto and incorporated herein by reference.
- The terms of the Development Agreement attached hereto as **Exhibit D** and incorporated herein by reference.
- If no **Exhibit D** is attached hereto, then the properties is zoned without conditions.

3.

That, if the request is granted, the official zoning map for the City is hereby amended to reflect such zoning classification for the property.

4.

That, if granted, this Ordinance shall become effective immediately subject to the corresponding annexation ordinance under consideration.

SO ORDAINED by the Council of this City this 6th day of July 2021.

ROBERT S. PRICE, Mayor

ATTEST:

MISTY SPURLING, City Clerk

(Seal)

APPROVED AS TO FORM:

City Attorney

EXHIBIT A



City of Locust Grove

P.O. Box 900 Locust Grove, Georgia 30248-0900

Telephone (770) 957-5043 Fax: 1-866-364-0996

MAYOR

Robert Price

COUNCIL

Keith Boone

Rudy Breedlove

Carlos Greer

Rod Shearouse

Willie J. Taylor

Vincent Williams

CITY MANAGER

Tim Young

CITY CLERK

Misty Spurling

March 29, 2021

Henry County Board of Commissioners
Attention: Carlotta Harrell, Chair
140 Henry Parkway
McDonough, GA 30253

RE: Letter of Correction for annexation of 156.82 +/- acres (Parcel ID 110-01029000) located north of Bethlehem Road between Interstate 75 and State Route 42 North and 39.08 acres +/- acres (Parcel ID 110-01019002) located north of Bethlehem Road between Interstate 75 and State Route 42 North.

Dear Chair Harrell:

The City has accepted an application on March 24, 2021 for annexation of the following properties:

156.82 +/- acres (Parcel ID 110-01029000) located north of Bethlehem Road between Interstate 75 and State Route 42 North and 39.08 acres +/- acres (Parcel ID 110-01019002) also located north of Bethlehem Road between Interstate 75 and State Route 42 North. The properties are being assembled by The Galloway Law Group, LLC.

The properties are contiguous to the existing City Limits and are being annexed by the 100% Method with no planned change in zoning other than a classification of the same RA (Residential-Agricultural) and M-2 (Heavy Manufacturing) zoning districts and Future Land Use designation of Industrial in the City of Locust Grove as is equivalent in Henry County.

Utilities will be provided per the Service Delivery Strategy agreement with the Henry County Water Authority.

This notice is being provided to you in accordance with Agreement Section 4. H. 4 and O.C.G.A. § 36-36-111 of the acceptance of the application for your consideration and comment.

Should you need any further information on this matter, please feel free to contact me at (770) 957-5043.

Respectfully,

Tim Young, City Manager

Cc: Cheri Hobson-Matthews, County Manager
Patrick Jaugstetter, County Attorney
Andy Welch, City Attorney
Locust Grove City Council
Henry County Water Authority

William
Woodson
Galloway

**THE
GALLOWAY
LAW GROUP**

4062 Peachtree Road NE, Suite A 330 | Atlanta, GA 30319
O (404) 965-3680 | D (404) 965-36813680 | C (678) 575-0001
Partner | woody@glawgp.com
www.glawgp.com

March 23, 2021

VIA ELECTRONIC MAIL

The Honorable Robert Price
Mayor, City of Locust Grove
Locust Grove City Hall
3644 Hwy 42
Locust Grove, GA 30248

Re: State Route 42 Annexation

Mayor Price:

On behalf of Norfolk Southern Corp. we would like to thank you for your acceptance of the attached annexation request. Norfolk Southern Corp. is proud to be a long-time property owner & friend to the City of Locust Grove. We look forward to working with you, council members and city staff on this application. The approval of this application will allow Norfolk Southern to continue to contribute to the responsible growth & success that Locust Grove is seeing today. Our team would welcome the opportunity to meet with you, council members and staff over the next 45 days to discuss this application and the project that it supports. Thank you for your consideration and please don't hesitate to reach out if we can be of assistance.

Sincerely,

THE GALLOWAY LAW GROUP, LLC


William Woodson Galloway

cc: Norfolk Southern Corp.

**APPLICATION FOR ANNEXATION UNDER
THE ONE HUNDRED PERCENT (100%) METHOD**

Date of Submission: 3/23/2021

To the Mayor and City Council of the City of Locust Grove, Henry County, Georgia.

1. We, the undersigned, all of the owners of all real property of the territory described herein respectfully request that the City Council annex this territory to the City of Locust Grove, Georgia, and extend the City boundaries to include the same.
2. The territory to be annexed is unincorporated and contiguous (as described in O.C.G.A. 36-36-20) to the existing corporate limits of Locust Grove, Georgia, and the description of such territory is hereto attached as Exhibit A.

OWNERS NAME(S) NORFOLK SOUTHERN
c/o The Galloway Law Group, LLC

PROPERTY LOCATION Between Interstate 75 and State Route 42 north of
Bethlehem Road

PHONE NUMBER (404) 965-3681

ALTERNATE PHONE (404) 965-3682

LAND LOT/DISTRICT Land Lots 246, 250, 251 / Districts 2, 7

ACREAGE Approx. 156.82 acres

MAP CODE NO. 110-01023000

ZONING CLASSIFICATION RA Residential-Agricultural

SIGNATURE(S) Malcolm G. Roop **Date** 3/17/2021

By: Malcolm G. Roop

As: Real Estate Manager

Date 3/17/2021

All property owners must sign as their name appears on the Deed.

Tract II

All that tract or parcel of land lying and being in Land Lot 246 of the 2nd District and Land Lots 250 & 251 of the 7th District of Henry County, Georgia and being more particularly described as follows:

COMMENCING at a 5/8" rebar found at the northwest corner of Land Lot 247, which is common to Land Lots 246 & 247, and the 2nd and 7th District Line; said rebar also being the POINT OF BEGINNING;

THENCE, from the POINT OF BEGINNING and southerly along the common line to Land Lots 246 & 247 a bearing of South 01 degrees 22 minutes 37 seconds West, a distance of 1,069.67 feet to a ¾" crimped-top pipe found on the northeasterly right-of-way of Interstate 75 (variable R/W);
THENCE, northerly along said right-of-way of Interstate 75 the following courses and distances: North 30 degrees 54 minutes 57 seconds West, a distance of 55.83 feet to a right-of-way monument found;
THENCE, North 21 degrees 47 minutes 08 seconds West, a distance of 498.90 feet to a right-of-way monument found; THENCE, North 25 degrees 15 minutes 46 seconds West, a distance of 399.26 feet to a right-of-way monument found; THENCE, North 23 degrees 20 minutes 53 seconds West, a distance of 696.97 feet to a point; THENCE, North 23 degrees 33 minutes 17 seconds West, a distance of 99.85 feet to a point; THENCE, North 23 degrees 25 minutes 47 seconds West, a distance of 602.87 feet to a right-of-way monument found; THENCE, North 21 degrees 23 minutes 16 seconds West, a distance of 600.34 feet to a point; THENCE, North 23 degrees 36 minutes 07 seconds West, a distance of 498.71 feet to a right-of-way found; THENCE, North 68 degrees 14 minutes 59 seconds East, a distance of 84.75 feet to a point; THENCE, North 23 degrees 12 minutes 46 seconds West, a distance of 354.06 feet to a right-of-way marker found; THENCE, North 10 degrees 53 minutes 33 seconds West, a distance of 115.04 feet to a right-of-way monument found; THENCE, North 01 degrees 02 minutes 56 seconds East, a distance of 156.82 feet to a right-of-way monument found; THENCE, South 85 degrees 18 minutes 57 seconds West, a distance of 34.96 feet to a right-of-way monument found; THENCE, South 84 degrees 24 minutes 49 seconds West, a distance of 30.08 feet to a right-of-way monument found; THENCE, South 85 degrees 40 minutes 15 seconds West, a distance of 34.56 feet to a right-of-way monument found; THENCE, South 01 degrees 00 minutes 21 seconds West, a distance of 160.61 feet to a right-of-way monument found; THENCE, South 85 degrees 52 minutes 04 seconds West, a distance of 32.64 feet to a right-of-way monument found; THENCE, North 23 degrees 31 minutes 52 seconds West, a distance of 499.15 feet to a right-of-way monument found; THENCE, North 25 degrees 11 minutes 22 seconds West, a distance of 35.32 feet to a point on the common property line with Southern Region Industrial C/O Norfolk Southern Tax (Tract III);
THENCE, easterly leaving said right-of-way along said common property line with Tract III a bearing of South 89 degrees 22 minutes 50 seconds East, a distance of 1,293.49 feet to a point on the westerly right-of-way of Norfolk Southern;
THENCE, southeasterly along said right-of-way of Norfolk Southern a bearing of South 45 degrees 19 minutes 11 seconds East, a distance of 4,396.51 feet to 5/8" rebar found on the common land lot line between Land Lots 247 & 250;
THENCE, westerly leaving said right-of-way along said common land lot line a bearing of North 88 degrees 44 minutes 42 seconds West, a distance of 2,607.12 feet to the POINT OF BEGINNING.

The herein described tract of land contains 6,831,183 square feet or 156.822 acres, more or less.

BOOK PAGE
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DOCH 001941
FILED IN OFFICE
01/17/2008 02:49 PM
BK:10682 PG:128-132
JUDITH A LEWIS
CLERK OF SUPERIOR COURT
HENRY COUNTY

Judith A. Lewis
REAL ESTATE TRANSFER TAX
PAID: \$15687.40

STATE OF GEORGIA
COUNTY OF HENRY

PT-81 075-2005-00432

LIMITED WARRANTY DEED

THIS INDENTURE (this "Deed") is made as of the 10th day of January, 2008, by and between Nancy T. Benton, individually, and Nancy T. Benton, as Trustee of the Nancy Teem Benton Life Trust created pursuant to Item VII(c) of the Last Will and Testament of Louise Green Teem, Deceased, for the benefit of Nancy Teem Benton, 12444 Forsyth Highway, Monticello, GA 31064 ("Grantor"), and Norfolk Southern Railway Company, a Virginia corporation, as to a ninety-four percent (94%) tenant in common interest and Alabama Great Southern LLC, a Virginia limited liability company as to a six percent (6%) tenant in common interest, 110 Franklin Road, SE, Roanoke, VA 24042 ("Grantee") (the terms "Grantor" and "Grantee" to include their respective heirs, legal representatives, successors and assigns where the context requires or permits).

WITNESSETH:

That Grantor, for and in consideration of the sum of TEN AND NO/100 DOLLARS (\$10.00) and for other good and valuable consideration in hand paid by Grantee to Grantor at and before the sealing and delivery hereof, the receipt and sufficiency of which are hereby acknowledged, has granted, bargained, sold, aliened, conveyed and confirmed, and by these presents does hereby grant, bargain, sell, alien, convey and confirm unto Grantee, the following described real property, to wit:

ALL THOSE TRACTS or parcels of land lying and being in Henry County, Georgia, being more particularly described in Exhibit "A" attached hereto and made a part hereof by this reference, together with any improvements located thereon (collectively, the "Property").

TO HAVE AND TO HOLD the Property, together with all and singular the rights, members and appurtenances thereof, to the same being, belonging, or in anywise appertaining, to the only proper use, benefit and behoof of the said Grantee forever in FEE SIMPLE.

010408LWD2CORRECTED

+
FedEx
Return to: H4104-S
Zonia N. Veal
First National Financial Title Services, Inc.
3237 Satellite Blvd., Suite 450
Duluth, GA 30096

AND Grantor will warrant and forever defend the right and title to the Property unto Grantee against the claims of all persons claiming by, through or under Grantor, subject only to those matters set forth on Exhibit "B" attached hereto and made a part hereof by this reference.

IN WITNESS WHEREOF, Grantor has signed and sealed this Deed, the day, month and year first above written.

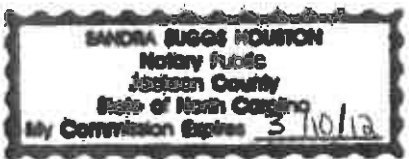
GRANTOR:

Signed, sealed and delivered
in the presence of:

Michelle Annis
Witness

[Signature]
Notary Public

Nancy T. Benton, Individually (SEAL)
Nancy T. Benton, Individually

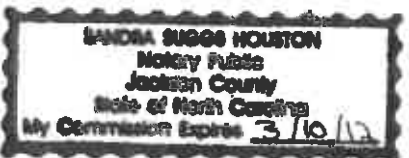


Signed, sealed and delivered
in the presence of:

Michelle Annis
Witness

[Signature]
Notary Public

Nancy T. Benton as trustee (SEAL)
Nancy T. Benton, as Trustee of the Nancy Teem Benton Life Trust created pursuant to Item VII(c) of the Last Will and Testament of Louise Green Teem, Deceased, for the benefit of Nancy Teem Benton



Prepared by
Alan W. Jackson
Glover & Davis, P.A.
10 Brown Street
Newnan, GA 30263

010408LND2CORRECTED

LEGAL DESCRIPTION

EXHIBIT "A"

All that tract or parcel of land lying and being in the District of Henry County, Georgia, and being more particularly described as follows:

All that tract of land lying and being in Land Lots 250 and 251 of the 7th Land District and Land Lot 246 of the 2nd Land District of Henry County, Georgia, containing .154.94 acres, more or less, and being more particularly described as follows:

Beginning at an iron pin located at the point of intersection of the southwestern right-of-way line of the Southern Railroad with the land lot line separating Land Lot 230 and 251 of the 7th Land District of Henry County, Georgia, said point being hereinafter called the POINT OF BEGINNING. From said point of beginning running North 86°39'53" West, 1312.0 feet to an iron pin; thence South 25°42'29" East 49.90 feet to a concrete monument; thence South 21°44'28" East 499.12 feet to a concrete monument; thence North 87°42'24" East 32.76 feet to a concrete monument; thence North 2°41'44" East 160.52 feet to a concrete monument; thence North 87°14'35" East 34.89 feet to a concrete monument; thence North 86°20'35" East 30.11 feet to a concrete monument; thence North 87°11'23" East 34.89 feet to a concrete monument; thence South 2°47'53" West 156.95 feet to a concrete monument; thence South 9°06'36" East 114.72 feet to a concrete monument; thence South 21°21'41" East 354.92 feet to a concrete monument; thence South 70°11'49" West 84.17 feet to a concrete monument; thence South 22°34'47" East 498.47 feet to a concrete monument; thence South 19°28'47" East 498.47 feet to a concrete monument; thence South 19°28'47" East 600.11 feet to a concrete monument; thence South 21°27'17" East 1400.72 feet to a concrete monument; thence South 23°29'50" East 398.90 feet to a concrete monument; thence South 20°03'50" East 499.43 feet to a concrete monument; thence South 26°54'00" East 43.55 feet to an iron pin; thence North 1°42'00" East 1039.90 feet to an iron pin; thence South 87°56'00" East 2,596.38 feet to an iron pin set at the southwestern right-of-way of the Southern Railroad; thence along said right-of-way North 43°33'02" West 4,321.42 feet to an iron pin and the point of beginning. This is the same land described by plat of survey prepared by Timberland Management Services, Inc., W.W. Lester, R.L.S., #2128, dated November 26, 1986 recorded in Plat Book 13, Page 225 of the Henry County Records.

This is the same property that was conveyed to William B. Orkin by deed dated July 29, 1966 recorded in Deed Book 91, Pages 457-458, and deed dated June 7, 1967 recorded in Deed Book 95, Page 271, Henry County records.

Less and Except any portion of the subject property that may lie beyond the boundaries of the property owned by Grantor as described in the deeds whereby Grantor acquired the property, as follows: (i) that Deed dated July 29, 1966, recorded in Deed Book 91, Page 457, and (ii) that Deed dated June 7, 1967, recorded in Deed Book 95, Page 271, Henry County Records.

Also Less and Except:

ALL THAT TRACT OR PARCEL OF LAND, LYING AND BEING LOCATED IN LAND LOT 230 OF THE 7th DISTRICT, HENRY COUNTY, GEORGIA, BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS,

BEGIN AT A 3/8" DIAMETER RE-BAR FOUND WHERE THE LAND LOT LINE COMMON TO LAND LOTS 230 AND 251 OF THE 7th LAND DISTRICT OF HENRY COUNTY GEORGIA INTERSECTS THE NORTHEASTERLY RIGHT OF WAY OF INTERSTATE HIGHWAY No. 75,(A VARIABLE RIGHT-OF-WAY,LIMITED ACCESS HIGHWAY), THE TRUE POINT OF BEGINNING,

THENCE North 37 degrees 54 minutes 33 seconds West for a distance of 14.87 feet to a calculated point;

THENCE, leaving the Right-of-way of Interstate Highway No. 75, South 86 degrees 49 minutes 38 seconds East for a distance of 786.09 feet to a calculated point;

THENCE North 87 degrees 39 minutes 16 seconds West for a distance of 776.40 feet to a 3/8" DIAMETER RE-BAR FOUND, the True Point of Beginning.

Together with and subject to covenants, easements, and restrictions of record.

Said property contains 0.101 acre .

Exhibit "B"

All taxes for the year 2008 and subsequent years, not yet due and payable

Easement for Right-of-Way dated May 11, 1970, by and between McDonough-Locust Grove Transmission and William B. Orkin, recorded on June 4, 1970, in Book 113, page 3, aforesaid records.

Rights of others in and to dirt road located in northwest corner of the property, as described in Exhibit B of Deed recorded in Book 778, Page 144, aforesaid records.

One hundred (100) foot right of way traversing the southeast corner of the property, as described in Exhibit B of Deed recorded in Book 778, Page 144, aforesaid records.

Rights of upper and lower riparian owners in and to the waters of creeks and branches crossing and adjoining the property and the natural flow thereof free from diminution or pollution.

BOOK PAGE
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DOCH 001942
FILED IN OFFICE
01/17/2008 02:49 PM
BK:10682 PG:133-136
JUDITH A LEWIS
CLERK OF SUPERIOR COURT
HENRY COUNTY

Judith A Lewis
REAL ESTATE TRANSFER TAX
PAID: \$0.00

GLOVER & DAVIS, P.A.
Attorneys At Law
P.O. Drawer 1038
Newnan, Georgia 30264

QUIT CLAIM DEED

PT-61 075-200~~8~~-00374

GEORGIA, COWETA COUNTY.

IN CONSIDERATION OF OTHER GOOD AND VALUABLE CONSIDERATION AND TEN (\$10.00) DOLLARS, receipt whereof is hereby acknowledged, Nancy T. Benton, individually, and Nancy T. Benton, as Trustee of the Nancy Teem Benton Life Trust created pursuant to Item VII(c) of the Last Will and Testament of Louise Green Teem, Deceased, for the benefit of Nancy Teem Benton, first parties, do hereby remise, release, and forever quit-claim unto Norfolk Southern Railway Company, a Virginia corporation as to a ninety-four percent (94%) tenant in common interest and Alabama Great Southern LLC, a Virginia limited liability company as to a six percent (6%) tenant in common interest, successors and assigns, all of the rights, title, interest and equity first party owns or has in and to the following described property, to-wit:

A parcel or tract of land lying and being located in Henry County, Georgia, and being more fully described on Exhibit "A" which is attached hereto and mad a part hereof.

together with all rights, privileges, and appurtenances, thereto belonging in fee simple.

TO HAVE AND TO HOLD said property, so that neither first party, nor successors, or assigns, nor any other person holding under first party, shall have any right, title or interest or

+3

Return to: *HNDK5*
Zonia N. Veal
First National Financial Title Services, Inc.
3237 Satellite Blvd., Suite 450
Duluth, GA 30096

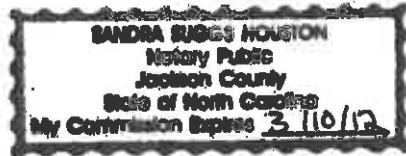
equity in same.

IN WITNESS WHEREOF, the said first parties have hereunto set their hands and seals
this 10th day of January, 2008.

Signed, sealed and delivered
In the presence of:

Michelle Anis
Witness
[Signature]
Notary Public

Nancy T. Benton, individually (SEAL)
Nancy T. Benton, Individually



Signed, sealed and delivered
in the presence of:

Michelle Anis
Witness
[Signature]
Notary Public

Nancy T. Benton, as trustee (SEAL)
Nancy T. Benton, as Trustee of the Nancy Teem Benton Life
Trust created pursuant to Item VII(c) of the Last Will and
Testament of Louise Green Teem, Deceased, for the benefit
of Nancy Teem Benton

Prepared by
Alan W. Jackson
Glover & Davis, P.A.
10 Brown Street
Newnan, GA 30263

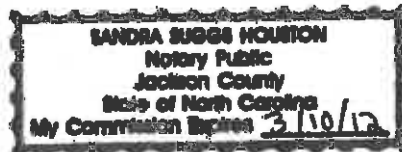


EXHIBIT "A"

LEGAL DESCRIPTION

ALL THAT TRACT OR PARCEL OF LAND, LYING AND BEING IN LAND LOT 250 AND 251 OF THE 7th LAND DISTRICT AND LAND LOT 246 OF THE 2nd LAND DISTRICT, HENRY COUNTY, STATE OF GEORGIA, AND BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS;

BEGINNING AT A 1/2" RE-BAR FOUND WHERE THE LAND LOT LINE COMMON TO LAND LOT 250 OF THE 7th DISTRICT AND THE LAND LOT LINE OF LAND LOT 247 OF THE 2nd DISTRICT INTERSECT THE SOUTHWESTERLY 150 FOOT RIGHT-OF-WAY OF THE NORFOLK-SOUTHERN RAILROAD, THE TRUE POINT OF BEGINNING;

THENCE North 86 degrees 58 minutes 36 seconds West for a distance of 2606.48 feet to 5/8" re-bar found;

THENCE South 03 degrees 08 minutes 08 seconds West for a distance of 1069.88 feet to a 3/8" crimp top pipe found on the Northeastly Right-of-Way of Interstate Highway No. 75, a variable right-of-way at this point;

THENCE along the Right-of-way of Interstate Highway No. 75, North 29 degrees 07 minutes 50 seconds West for a distance of 55.87 feet to a concrete right-of-way monument;

THENCE North 20 degrees 02 minutes 11 seconds West for a distance of 499.05 feet to a concrete right-of-way monument;

THENCE North 23 degrees 31 minutes 31 seconds West for a distance of 399.24 feet to a concrete right-of-way monument; THENCE North 21 degrees 37 minutes 16 seconds West for a

distance of 696.74 feet to a concrete right-of-way monument; THENCE North 21 degrees 48 minutes 43 seconds West for a distance of 99.85 feet to a concrete right-of-way monument;

THENCE North 21 degrees 39 minutes 32 seconds West for a distance of 603.55 feet to a concrete right-of-way monument;

THENCE North 19 degrees 40 minutes 15 seconds West for a distance of 599.65 feet to a concrete right-of-way monument;

THENCE North 21 degrees 48 minutes 21 seconds West for a distance of 499.38 feet to a concrete right-of-way monument;

THENCE North 70 degrees 27 minutes 17 seconds East for a distance of 84.31 feet to a concrete right-of-way monument;

THENCE North 21 degrees 22 minutes 56 seconds West for a distance of 355.05 feet to a concrete right-of-way monument;

THENCE North 09 degrees 07 minutes 55 seconds West for a distance of 114.91 feet to a concrete right-of-way monument;

THENCE North 02 degrees 47 minutes 16 seconds East for a distance of 156.87 feet to a concrete right-of-way monument;

THENCE South 87 degrees 09 minutes 49 seconds West for a distance of 34.93 feet to a concrete right-of-way monument;

THENCE South 86 degrees 14 minutes 47 seconds West for a distance of 30.12 feet to a concrete right-of-way monument;

THENCE South 87 degrees 11 minutes 30 seconds West for a distance of 34.89 feet to a concrete right-of-way monument;

THENCE South 02 degrees 40 minutes 17 seconds West for a distance of 160.53 feet to a concrete right-of-way monument;

THENCE South 87 degrees 43 minutes 59 seconds West for a distance of 32.63 feet to a concrete right-of-way monument;

THENCE North 21 degrees 47 minutes 07 seconds West for a distance of 499.17 feet

BOOK PAGE
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to a concrete right-of-way monument;

THENCE North 24 degrees 25 minutes 16 seconds West for a distance of 35.32 feet to a 3/8" re-bar found, set in concrete;

THENCE, leaving the Right-of-Way of Interstate Highway No. 75, South 87 degrees 39 minutes 16 seconds East for a distance of 1294.34 feet to a 3/8" re-bar found, set in concrete, on the Southwesterly 150 ft. Right-of-Way of The Norfolk Southern Railroad;

THENCE along the Southwesterly 150 ft. Right-of-Way of The Norfolk Southern Railroad South 43 degrees 33 minutes 15 seconds East for a distance of 4397.54 feet to a 1/2" re-bar found, the True point of Beginning.

Together with and subject to covenants, easements, and restrictions of record.

Said property contains 156.874 acres.

154wleg.doc

**APPLICATION FOR ANNEXATION UNDER
THE ONE HUNDRED PERCENT (100%) METHOD**

Date of Submission: 3/23/2021

To the Mayor and City Council of the City of Locust Grove, Henry County, Georgia.

1. We, the undersigned, all of the owners of all real property of the territory described herein respectfully request that the City Council annex this territory to the City of Locust Grove, Georgia, and extend the City boundaries to include the same.
2. The territory to be annexed is unincorporated and contiguous (as described in O.C.G.A. 36-36-20) to the existing corporate limits of Locust Grove, Georgia, and the description of such territory is hereto attached as Exhibit A.

OWNERS NAME(S) SOUTHERN REGION INDUSTRIAL C/O NORFOLK SOUTHERN TAX
c/o The Galloway Law Group, LLC

PROPERTY LOCATION Between Interstate 75 and State Route 42 north of

Bethlehem Road

PHONE NUMBER (404) 965-3681

ALTERNATE PHONE (404) 965-3682

LAND LOT/DISTRICT Land Lots 230, 251 / District 7

ACREAGE Approx. 39.08

MAP CODE NO. 110-01019002

ZONING CLASSIFICATION M-2 Heavy Manufacturing

SIGNATURE(S) Malcolm G. Roop **Date** 3/17/2021

By: Malcolm G. Roop

As: Real Estate Manager

Date 3/17/2021

All property owners must sign as their name appears on the Deed.

Tract III

All that tract or parcel of land lying and being in Land Lot 246 of the 2nd District and Land Lots 250 & 251 of the 7th District of Henry County, Georgia and being more particularly described as follows:

COMMENCING at a 5/8" rebar found at the northwest corner of Land Lot 247, which is common to Land Lots 246 & 247, and the 2nd and 7th District Line; THENCE, southerly along the common line to Land Lots 246 & 247 a bearing of South 01 degrees 22 minutes 37 seconds West, a distance of 1,069.67 feet to a ¾" crimped-top pipe found on the northeasterly right-of-way of Interstate 75 (variable R/W); THENCE, northerly along said right-of-way of Interstate 75 the following courses and distances: North 30 degrees 54 minutes 57 seconds West, a distance of 55.83 feet to a right-of-way monument found; THENCE, North 21 degrees 47 minutes 08 seconds West, a distance of 498.90 feet to a right-of-way monument found; THENCE, North 25 degrees 15 minutes 46 seconds West, a distance of 399.26 feet to a right-of-way monument found; THENCE, North 23 degrees 20 minutes 53 seconds West, a distance of 696.97 feet to a point; THENCE, North 23 degrees 33 minutes 17 seconds West, a distance of 99.85 feet to a point; THENCE, North 23 degrees 25 minutes 47 seconds West, a distance of 602.87 feet to a right-of-way monument found; THENCE, North 21 degrees 23 minutes 16 seconds West, a distance of 600.34 feet to a point; THENCE, North 23 degrees 36 minutes 07 seconds West, a distance of 498.71 feet to a right-of-way found; THENCE, North 68 degrees 14 minutes 59 seconds East, a distance of 84.75 feet to a point; THENCE, North 23 degrees 12 minutes 46 seconds West, a distance of 354.06 feet to a right-of-way marker found; THENCE, North 10 degrees 53 minutes 33 seconds West, a distance of 115.04 feet to a right-of-way monument found; THENCE, North 01 degrees 02 minutes 56 seconds East, a distance of 156.82 feet to a right-of-way monument found; THENCE, South 85 degrees 18 minutes 57 seconds West, a distance of 34.96 feet to a right-of-way monument found; THENCE, South 84 degrees 24 minutes 49 seconds West, a distance of 30.08 feet to a right-of-way monument found; THENCE, South 85 degrees 40 minutes 15 seconds West, a distance of 34.56 feet to a right-of-way monument found; THENCE, South 01 degrees 00 minutes 21 seconds West, a distance of 160.61 feet to a right-of-way monument found; THENCE, South 85 degrees 52 minutes 04 seconds West, a distance of 32.64 feet to a right-of-way monument found; THENCE, North 23 degrees 31 minutes 52 seconds West, a distance of 499.15 feet to a right-of-way monument found; THENCE, North 25 degrees 11 minutes 22 seconds West, a distance of 35.32 feet to a point; said point also being the POINT OF BEGINNING;

THENCE, from the POINT OF BEGINNING and northerly continuing along the northeasterly right-of-way of Interstate 75 a bearing of North 27 degrees 52 minutes 56 seconds West, a distance of 964.10 feet to a point;

THENCE, North 27 degrees 40 minutes 38 seconds West, a distance of 383.21 feet to a 5/8" rebar found;

THENCE, easterly leaving said right-of-way a bearing of North 74 degrees 12 minutes 38 seconds East, a distance of 112.80 feet to a point on the common property line with ARC DBPGDYR001, LLC;

THENCE, easterly along said common property line a bearing of North 74 degrees 18 minutes 09 seconds East, a distance of 1,063.06 feet to a point;

THENCE, southerly a bearing of South 34 degrees 40 minutes 05 seconds East, a distance of 338.38 feet to a point on the westerly right-of-way of Norfolk Southern;

THENCE, southerly along said right-of-way the following courses and distances: South 15 degrees 41 minutes 51 seconds East, a distance of 375.24 feet to a point; THENCE, following a curve to the left having an arc length of 208.32 feet, a radius of 1921.94 feet and being subtended by a chord with a bearing of South 17 degrees 59 minutes 37 seconds East, a distance of 208.22 feet to a point; THENCE, following a curve to the left having an arc length of 689.65 feet, a radius of 1,921.94 feet and being subtended by a chord with a bearing of South 30 degrees 31 minutes 55 seconds East, a distance of

685.96 feet to a point; THENCE, following a curve to the left having an arc length of 126.80 feet, a radius of 3,955.51 feet and being subtended by a chord with a bearing of South 41 degrees 11 minutes 58 seconds East, a distance of 126.80 feet to a point on the common property line with Norfolk Southern, THENCE, westerly leaving said right-of-way along said common property line a bearing of North 89 degrees 22 minutes 50 seconds West, a distance of 1,293.49 feet to the POINT OF BEGINNING.

The herein described tract of land contains 1,702,411 square feet or 39.082 acres, more or less.

affidavit of Title Book 1473 Pg. 237

424

STATE OF TEXAS }
 HARRIS County. } ss: _____
 Clerk of Superior Court

County, Georgia
 Real Estate Transfer Tax
 Paid \$ 470.00
 Date 7-12-70 (9-13-70)

THIS INSTRUMENT, made this 9th day of September, in the year of Our Lord one thousand nine hundred seventy (1970), between

TERRECO OIL COMPANY, a Delaware corporation, Grantor, party of the first part; and

WELLSUCK, INC., a Louisiana corporation, Grantee, party of the second part;

W I T N E S S E T H

THAT the said GRANTOR for and in consideration of the sum of TEN DOLLARS (\$10.00) and other good and valuable considerations in hand paid at and before the sealing and delivery of these presents, the receipt of which is hereby acknowledged, has granted, bargained, sold and conveyed, and by these presents does grant, bargain, sell and convey unto the said GRANTEE, its successors and assigns, the following described property: to wit,

All of those three (3) certain tracts or parcels of land situate, lying and being in Land Lots 229, 230, 229, 230, and 231 of the 7th Land District of Emory County, Georgia, more particularly described as follows:

PARCEL 1

BEGINNING at a point in the land lot line dividing Lots 231 and 230, said point being in the westerly boundary of the right of way of U. S. Highway No. 23; and running thence in a northerly direction along said westerly boundary of U. S. Highway No. 23, the following courses and distances: North 29° 16' West, 30.10 feet; thence North 27° 40' West, 27.32 feet; thence North 12° 32' West, 150.56 feet; thence North 6° 25' West, 199.93 feet; thence North 5° 16' 15" West, 2,626.5 feet to a point in Land Lot 219; thence, leaving said westerly boundary of the right of way of U. S. Highway No. 23, and running thence, South 62° 18' 15" West, 285.74 feet; thence North 23° 50' 15" West, 206.33 feet; thence North 66° 19' 15" West, 1,281.7 feet, more or less, to a point in the easterly boundary of the right of way of Southern Railway Company for its main track running between Atlanta and Macon, said point being 75 feet easterly from said main track, measured at a right angle, from its center line; thence, southeasterly along said easterly boundary of said right of way of Southern Railway Company, the following courses and distances: South 14° 55' 35" East, 2,600 feet; thence South 17° 52' 45" East, 291.72 feet; thence South 25° 05' 30" East, 189.60 feet; thence South 31° 14' East, 150.23 feet; thence South 37° 16' East, 150.85 feet; thence South 43° 17' 15" East, 258.31 feet, more or less, to the land lot line dividing Land Lots 230 and 231; thence, leaving

said westerly boundary of said right of way of Southern Railway Company and running thence South 68° 49' 45" East, along the land lot line dividing Land Lots 25) and 251, 25) and 253, a distance of 187.25 feet, more or less, to the point or place of beginning; containing 131.14 acres, more or less, and being located substantially as shown delineated in red on print of Drawing Number 5-434, dated August 12, 1970, herewith annexed and made a part hereof.

PANEL 2

BEGINNING at the intersection of the land lot line dividing Land Lots 230 and 232 with the westerly boundary of the right of way of Southern Railway Company for said main track which said westerly boundary is located 73 feet from said main track measured at a right angle from its corner line, said point being South 68° 49' 45" East, 2,138.26 feet from the land lot corner dividing Land Lots 227, 250, 251 and 253; and running thence, Northwestwardly, along said westerly boundary of said right of way of Southern Railway Company, the following courses and distances: North 43° 47' 30" West, 124.21 feet; thence, North 37° 41' 30" West, 206.63 feet; thence, North 30° 29' West, 126.74 feet; thence, North 6° 49' 31" West, 224.15 feet; thence North 17° 30' 30" East, 220.27 feet; thence, North 14° 55' 3" West, crossing the land lot line dividing Land Lots 229 and 233, a distance of 3,074.34 feet; thence, leaving said westerly boundary of said right of way of Southern Railway Company and running thence, North 68° 49' 45" West, a distance of 2,277.28 feet, more or less, to the easterly right of way boundary of Interstate Highway No. 1-75; thence, Southeastwardly, along said easterly right of way boundary of said Interstate Highway No. 1-75, the following courses and distances: running along a curve to the right having a radius of 5,275.6 feet for an arc distance of 766.65 feet, said curve having a chord bearing of South 31° 21' East, and a chord distance of 766.25 feet; thence, South 36° 36' 15" East, 14.58 feet; thence, South 23° 15' East, 162.50 feet; thence, South 26° 23' 30" East, 412.42 feet; thence, South 27° 30' 30" East, 571.25 feet, crossing the land lot line dividing Land Lots 229 and 229; thence, South 28° 42' 15" East, 506.11 feet; thence, South 19° 59' East, 52.61 feet; thence, South 27° 40' East, 625.09 feet, more or less, to the land lot line dividing Land Lots 229 and 233; thence, South 26° 43' 45" East, 182.24 feet; thence, South 13° 04' East, 101.12 feet; thence, South 25° 49' 30" East, 500.40 feet; thence, South 27° 10' 15" East, 167.98 feet, more or less, to the land lot line dividing Land Lots 230 and 232; thence, along said land lot line, South 68° 49' 45" East, 1,255.49 feet, more or less, to the point or place of beginning; containing 167.77 acres, more or less, and being located substantially as shown delineated in red on said annexed print of Drawing Number 5-434.

PANEL 3

BEGINNING at the land lot corner dividing Land Lots 227, 230, 231 and 232, and running thence, South 68° 49' 45" East, along the land lot line dividing Land Lots 230 and 232, 174.92 feet; thence, along the westerly right of way boundary of Interstate Highway 1-75, North 22° 32' 30" West, 66.34 feet; thence, continuing along said westerly boundary

of I-75, North 24° 11' West, 344.70 feet, more or less, to the land lot line dividing Land Lots 229 and 230; thence, South 0° 40' West, along the line dividing Land Lots 229 and 230, 350.23 feet, more or less, to the point or place of beginning; containing 0.41 of an acre, more or less, and being located substantially as shown delineated in red on said annexed print of Drawing Number 5-13h.

TO HAVE AND TO HOLD the same bargained premises, together with all and singular the rights, members and appurtenances thereof, to the same being, belonging or in any wise incident or appertaining, to the only proper use, benefit and behoof of the said WELLSUCK, INC., party of the second part, its successors and assigns, forever, in fee simple.

AND the said TENECCO OIL COMPANY, party of the first part, for itself, its successors and assigns, will warrant and forever defend the right and title to the above described property unto the said WELLSUCK, INC., party of the second part, its successors and assigns, against the claims of all persons whomsoever, claiming by, through and under Tenecco Oil Company and no further.

IN WITNESS WHEREOF, Tenecco Oil Company has caused these presents to be executed, and its corporate seal to be hereunto affixed and attested, by its officers thereunto duly authorized, the day and year first above written.

Signed, sealed and delivered
in presence of:

TENECCO OIL COMPANY,
By

Richard L. Cotton
John P. ...
Notary Public
(Notarial Seal)

Arthur L. Buckley
As Vice President,

L. S.
ATTORNEY:

My commission expires
RMS 98204
Notary Public in and for North Carolina, Term
My Commission Expires Jan 1, 1971.

Ralph J. Hayward
As Secretary, Ralph J. Hayward
(CORP. SEAL)

-3-

Filed for record September 15, 1970 at 9:00 A. M.
Recorded September 18, 1970

Ann E. Taylor
(Clerk)

FILED IN OFFICE
CLERK SUPERIOR COURT
HENRY COUNTY, GA.

JUN 18 9 29 AM '72

AFFIDAVIT OF FACTS AFFECTING

DEED BOOK 149
DATE RECORDED 6-18-72
FILED 149

STATE OF GEORGIA
COUNTY OF BIBB

RE: Affidavit made by Ellsworth Hall, Jr.,
Division Counsel, Georgia, Southern
Railway Company, under terms of
Georgia Laws 1955, pages 614 and 615
(codified as Section 38-638, et seq.
Georgia Code Ann. Supp.), relating to
the title of Georgia Industrial Realty
Company, the present or former owner
of lands described in a deed to Wellrick,
Inc., recorded in Deed Book 115, pages
424-426, Clerk's Office, Henry County
Superior Court

Personally before the undersigned attesting officer authorized to
administer oaths appeared Ellsworth Hall, Jr., who being first duly sworn
deposes and says:

That he is Division Counsel, Southern Railway Company - Georgia.

That prior to its merger with and into Georgia Industrial Realty
Company, Wellrick, Inc., was a Louisiana corporation which was a wholly
owned subsidiary of the Southern Railway Company.

That Georgia Industrial Realty Company, the surviving corporation
in the merger referred to above, was prior to the merger and continues to
be a wholly owned subsidiary of Southern Railway Company.

That Georgia Industrial Realty Company is a Georgia corporation
chartered in Fulton County, Georgia, with its principal office located at
99 Spring Street, S. W., Atlanta, Georgia 30303.

Deponent further states that Wellrick, Inc., was on the 16th day of
November, 1970, duly merged by the Superior Court of Fulton County,
Georgia, into and with Georgia Industrial Realty Company, the surviving
corporation in said merger. The surviving corporation, Georgia Industrial

affidavit of Title Book 1493 p. 228

Realty Company, by virtue of the merger took title to all of the assets, both real and personal, owned by Wellrick, Inc. The merger was the result of proceedings which are of record in the Superior Court of Fulton County, Georgia, and which are also of record with the Secretary of State of Georgia.

Deponent makes this affidavit for the purpose of being recorded in the Clerk's Office, Henry County Superior Court, in accordance with Georgia Laws 1955, pages 614 and 615 (codified as Sections 38-638, et seq. of the Code of Georgia Annotated, 1933, as amended).

Elsworth Hall, Jr.
Elsworth Hall, Jr.
Deponent

Sworn to and subscribed before me

this 26 day of June, 1972:

Henry T. Reaven
Notary Public



Clerk: Please cross-reference to all
Deed Book and pages listed below.
BOOK 1473 PAGE 237

AFFIDAVIT OF TITLE

STATE OF GEORGIA
COUNTY OF FULTON

- In re: 1. Property of Wellrick, Inc. recorded at Deed Book 115, page 424, Henry County, Georgia Records, Wellrick, Inc. being merged into Georgia Industrial Realty Company, a Georgia corporation, as per Affidavit recorded at Deed Book 149, page 228, Henry County, Georgia Records, and
2. Property of Georgia Industrial Realty Company, a Georgia corporation, recorded at Deed Book 114, page 345, Henry County, Georgia Records.

BEFORE ME, THE UNDERSIGNED attesting authority in and for said State and County, came the undersigned deponent, who being duly sworn deposes and says on oath that this affidavit relates to the property of the owner designated in the caption hereof as the same is described in the deed book and page herein referred to. Said deponent makes the following statement under oath as being relevant and material to the ownership of property:

Attached hereto as EXHIBIT "A" is the statement of Roger D. Powers, Assistant Corporate Secretary of Southern Region Industrial Realty, Inc., certifying that Georgia Industrial Realty Company changed it's name to Southern Region Industrial Realty, Inc.

Sworn to and subscribed before me
this 18th day of July, 1992:

[Signature]
 NOTARY PUBLIC
 Henry County, Georgia
 My Commission Expires January 28, 1994

[Signature]
 GREGORY D. HUGHES, AFFIANT AND
 DEPONENT

DEED BOOK 1473
 PAGE 237
 FILED

JUL 18 11 58 AM '92

CLERK OF SUPERIOR COURT
HENRY COUNTY, GA.

(0332L)

13587

BOOK 1473 PAGE 238

EXHIBIT "A"

I, Roger D. Powers, Assistant Corporate Secretary of Southern Region Industrial Realty, Inc., hereby certify that the name of Georgia Industrial Realty Company was changed to Southern Region Industrial Realty, Inc., effective April 1, 1974, in accordance with Articles of Amendment filed with the Secretary of the State of Georgia on April 1, 1974.

Roger D. Powers

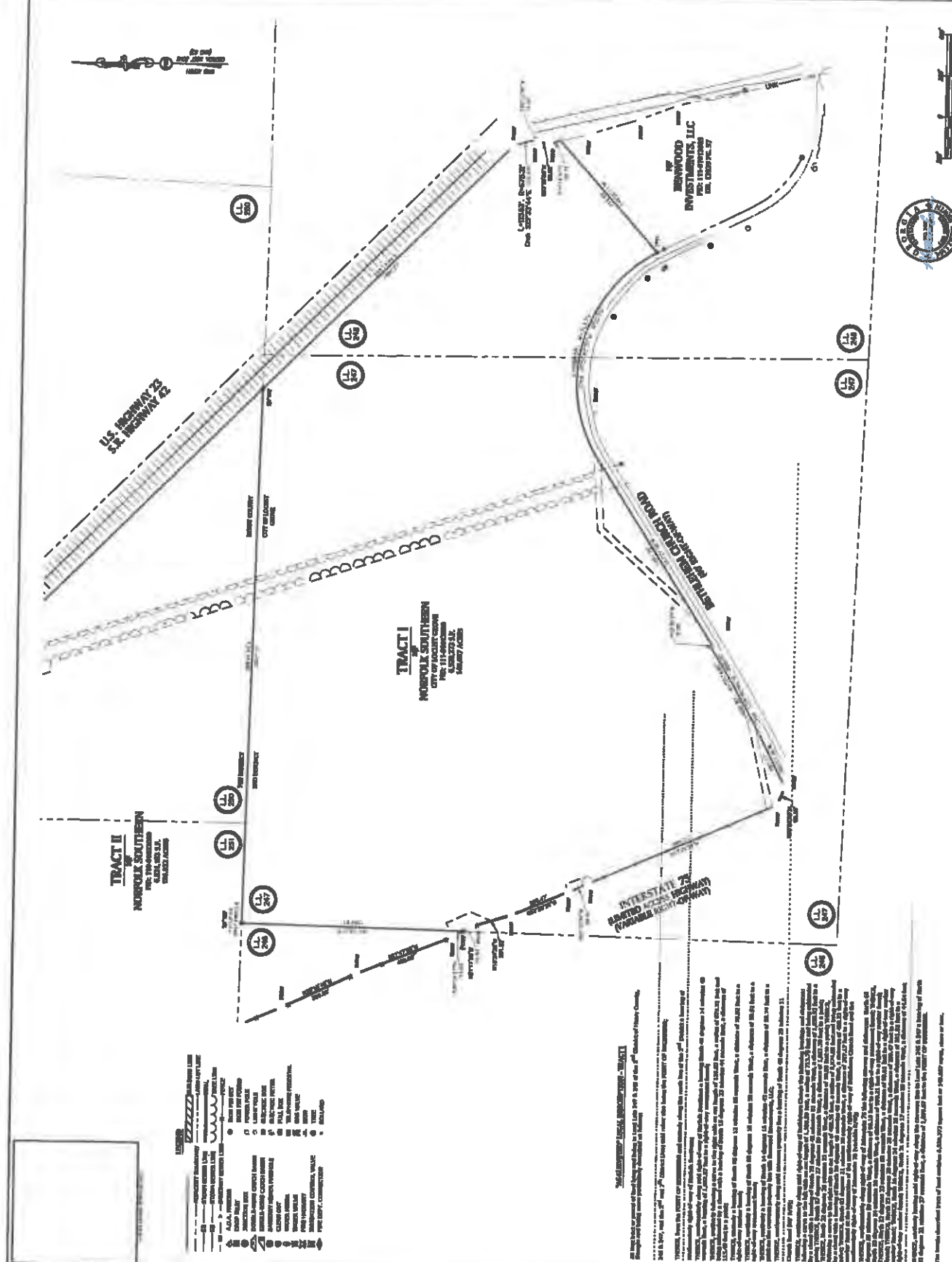
Assistant Corporate Secretary
Southern Region Industrial Realty, Inc.

BETHLEHEM ROAD

LAND LOTS 230, 240, 242, 250, & 251
HENRY COUNTY, GEORGIA

REVISIONS
NO. DATE BY
1 11/15/11 JLM

DATE: 11/15/11
PROJECT: BETHLEHEM ROAD
DRAWN BY: JLM
CHECKED BY: JLM
SCALE: AS SHOWN



- LEGEND**
- PROPERTY BOUNDARY LINE
 - EXISTING EASEMENT LINE
 - PROPOSED EASEMENT LINE
 - PROPOSED RIGHT-OF-WAY LINE
 - PROPOSED RIGHT-OF-WAY CENTERLINE
 - PROPOSED RIGHT-OF-WAY CORNER
 - PROPOSED RIGHT-OF-WAY CURVE
 - PROPOSED RIGHT-OF-WAY TANGENT
 - PROPOSED RIGHT-OF-WAY OFFSET
 - PROPOSED RIGHT-OF-WAY WIDTH
 - PROPOSED RIGHT-OF-WAY AREA
 - PROPOSED RIGHT-OF-WAY PERCENTAGE
 - PROPOSED RIGHT-OF-WAY ADJUSTMENT
 - PROPOSED RIGHT-OF-WAY VARIATION
 - PROPOSED RIGHT-OF-WAY EXCEPTION
 - PROPOSED RIGHT-OF-WAY NOTE
 - PROPOSED RIGHT-OF-WAY COMMENT
 - PROPOSED RIGHT-OF-WAY FOOTNOTES
 - PROPOSED RIGHT-OF-WAY REFERENCES
 - PROPOSED RIGHT-OF-WAY CITATIONS
 - PROPOSED RIGHT-OF-WAY STATUTES
 - PROPOSED RIGHT-OF-WAY REGULATIONS
 - PROPOSED RIGHT-OF-WAY ORDINANCES
 - PROPOSED RIGHT-OF-WAY DECREES
 - PROPOSED RIGHT-OF-WAY AGREEMENTS
 - PROPOSED RIGHT-OF-WAY CONTRACTS
 - PROPOSED RIGHT-OF-WAY DEEDS
 - PROPOSED RIGHT-OF-WAY WILLS
 - PROPOSED RIGHT-OF-WAY PROBATES
 - PROPOSED RIGHT-OF-WAY ESTATES
 - PROPOSED RIGHT-OF-WAY TRUSTS
 - PROPOSED RIGHT-OF-WAY PARTNERSHIPS
 - PROPOSED RIGHT-OF-WAY CORPORATIONS
 - PROPOSED RIGHT-OF-WAY ASSOCIATIONS
 - PROPOSED RIGHT-OF-WAY UNIONS
 - PROPOSED RIGHT-OF-WAY COOPERATIVES
 - PROPOSED RIGHT-OF-WAY TRUSTS
 - PROPOSED RIGHT-OF-WAY PARTNERSHIPS
 - PROPOSED RIGHT-OF-WAY CORPORATIONS
 - PROPOSED RIGHT-OF-WAY ASSOCIATIONS
 - PROPOSED RIGHT-OF-WAY UNIONS
 - PROPOSED RIGHT-OF-WAY COOPERATIVES

NOTICE TO CONTRACTOR

THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM ALL APPLICABLE AGENCIES AND AUTHORITIES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING THE ACCURACY OF ALL INFORMATION PROVIDED ON THIS PLAN. THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROTECTING ALL EXISTING UTILITIES AND STRUCTURES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR MAINTAINING ACCESS TO ALL ADJACENT PROPERTIES AND PUBLIC ROADS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR RESTORING ALL EXISTING UTILITIES AND STRUCTURES TO ORIGINAL OR BETTER CONDITION. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM ALL APPLICABLE AGENCIES AND AUTHORITIES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING THE ACCURACY OF ALL INFORMATION PROVIDED ON THIS PLAN. THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROTECTING ALL EXISTING UTILITIES AND STRUCTURES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR MAINTAINING ACCESS TO ALL ADJACENT PROPERTIES AND PUBLIC ROADS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR RESTORING ALL EXISTING UTILITIES AND STRUCTURES TO ORIGINAL OR BETTER CONDITION.



City of Locust Grove

P.O. Box 900 Locust Grove, Georgia 30248-0900
Telephone (770) 957- 5043 Fax: 1-866-364-0996

MAYOR

Robert Price

COUNCIL

Rudy Breedlove

Keith Boone

Randy Gardner

Carlos Greer

Rod Shearouse

Willie J. Taylor

CITY MANAGER

Tim Young

CITY CLERK

Misty Spurling

September 24, 2020

To Prospective City Residents/Business Owners:

RE: Process of annexation into the City of Locust Grove

Thank you for your interest in annexation into the City of Locust Grove. Below are some of the benefits or advantages of becoming a city resident:

- Police Protection provided by the city that is typically closer as compared to dispatches from Henry County PD.
- Weekly trash collection at a cost of \$13.50 per month (current rate).
- For bulk items, the city operates a central trash facility open on Wednesday and Saturday for a fee of \$10 per vehicle/trailer.
- Taxes: The City of Locust Grove does not currently assess an ad valorem property tax. Furthermore, properties within the city are subject to a millage differential of 2.1 mils. This means that properties within the city limits are subject to lower taxation than in unincorporated Henry County. (Note: this is of 2020. The city works diligently to keep taxes low; however, tax rates are always subject to the maintenance and operations needs of the city versus the available revenue sources.)

If interested in annexation, please fill out the 100% and respective 60% forms (if instructed). We will need four (4) original, signed copies of the annexation request form, a deed of ownership, and a survey plat of the respective property(ies). After this information is received, we must verify ownership, location to existing city limits in terms of ability to be annexed by state law and local service delivery strategy and confirm existing and/or proposed zoning.

Once accepted upon verification, the city must furnish notice to Henry County of the intent to annex, along with any possible zoning change. After 30 days of notice to Henry County, the city will schedule a hearing to take action on the actual annexation barring any possible dispute raised by the county.

Should you have further questions, please feel free to contact me at (770) 957-5043.

Tim Young, City Manger

Cc: Robert Price, Mayor
Bert Foster, Assistant City Manager
Misty Spurling, City Clerk

LOCUST
GROVE

APPLICATION FOR ANNEXATION

Dear Land Owner:

The enclosed forms are required to be filled out in order for the Mayor and City Council of the City of Locust Grove, Georgia, to consider annexing territory into the City limits. Please complete Form 1 in its entirety. If you and/or anyone else resides on the property which you would like to annex, also complete Form 2. If no one resides on the property which you would like to annex, complete Form 3. Please complete two of the applicable annexation applications.

In addition to completing these annexation forms, you will also need to submit your deed, a plat of survey and legal description pertaining to the property the application is being made on. Your deed may already contain the legal description and plat of survey.

Should you have any questions or need assistance regarding this annexation process, do not hesitate to contact the City Clerk at (770) 957-5043

Items 1, 2, and 3.
 name and address on the reverse
 can return the card to you.
 card to the back of the mailpiece,
 front if space permits.

Addressed to:
**HENRY COUNTY BOARD OF
 COMMISSIONERS
 CARLOTTA HARRELL, CHAIR
 HENRY PARKWAY
 MCDONOUGH GA 30253**



9402 5857 0038 5705 30

Number (Transfer from service label)

7016 0600 0001 2128 2860

PS Form 3811, July 2015 PSN 7530-02-000-9053

SENDER: COMPLETE THIS SECTION

A. Signature
[Signature] Agent
 Addressee

B. Received by (Printed Name) **A Wilkerson** C. Date of Delivery **3/31/21**

D. Is delivery address different from item 1? Yes
 If YES, enter delivery address below: No

3. Service Type

Adult Signature
 Adult Signature Restricted Delivery
 Certified Mail®
 Certified Mail Restricted Delivery
 Collect on Delivery
 Collect on Delivery Restricted Delivery
 Insured Mail®
 Restricted Delivery

Priority Mail Express®
 Registered Mail™
 Registered Mail Restricted Delivery
 Return Receipt for Merchandise
 Signature Confirmation™
 Signature Confirmation Restricted Delivery

Domestic Return Receipt

CERTIFIED MAIL® RECEIPT
 Domestic Mail Only

For delivery information, visit our website at www.usps.com®.

McDonough GA 30253

OFFICIAL USE

Certified Mail Fee \$3.60

Extra Services & Fees (check box, add fee as appropriate)

Return Receipt (hardcopy) \$0.00
 Return Receipt (electronic) \$0.00
 Certified Mail Restricted Delivery \$0.00
 Adult Signature Required \$0.00
 Adult Signature Restricted Delivery \$0.00

Postage \$8.55

Total Postage and Fees \$15.00

0266 03
 Postmark Here
 03/26/2021

**HENRY COUNTY BOARD OF COMMISSIONERS
 ATTN CARLOTTA HARRELL, CHAIR
 140 HENRY PKY
 MCDONOUGH GA 30253**

PS Form 3800, April 2015 PSN 7530-02-000-8847 See Reverse for Instructions

**U.S. Postal Service™
 CERTIFIED MAIL® RECEIPT**
 Domestic Mail Only

For delivery information, visit our website at www.usps.com®.

McDonough GA 30253

OFFICIAL USE

Certified Mail Fee \$3.50

Extra Services & Fees (check box, add fee as appropriate)

Return Receipt (hardcopy) \$0.00
 Return Receipt (electronic) \$0.00
 Certified Mail Restricted Delivery \$0.00
 Adult Signature Required \$0.00
 Adult Signature Restricted Delivery \$0.00

Postage \$0.55

Total Postage and Fees \$7.00

0266 07
 Postmark Here
 03/29/2021

**HENRY COUNTY BOARD OF COMMISSIONERS
 ATTN CARLOTTA HARRELL, CHAIR
 140 HENRY PARKWAY
 MCDONOUGH GA 30253**

PS Form 3800, April 2015 PSN 7530-02-000-8847 See Reverse for Instructions

SENDER: COMPLETE THIS SECTION

- Complete items 1, 2, and 3.
- Print your name and address on the reverse so that we can return the card to you.
- Attach this card to the back of the mailpiece, or on the front if space permits.

1. Article Addressed to:
**HENRY COUNTY BOARD OF
 COMMISSIONERS
 ATTN CARLOTTA HARRELL, CHAIR
 140 HENRY PKY
 MCDONOUGH GA 30253**



9590 9402 5857 0038 5705 16

2. Article Number (Transfer from service label)

7016 0600 0001 2128 2853

PS Form 3811, July 2015 PSN 7530-02-000-9053

COMPLETE THIS SECTION ON DELIVERY

A. Signature
[Signature] Agent
 Addressee

B. Received by (Printed Name) **A Wilkerson** C. Date of Delivery **3/29/21**

D. Is delivery address different from item 1? Yes
 If YES, enter delivery address below: No

3. Service Type

Adult Signature
 Adult Signature Restricted Delivery
 Certified Mail®
 Certified Mail Restricted Delivery
 Collect on Delivery
 Collect on Delivery Restricted Delivery

Priority Mail Express®
 Registered Mail™
 Registered Mail Restricted Delivery
 Return Receipt for Merchandise
 Signature Confirmation™
 Signature Confirmation Restricted Delivery

Domestic Return Receipt

EXHIBIT B



REZONING EVALUATION REPORT

June 21, 2021

FILE: RZ-21-03-02

ANNEXATION & REZONING

Property Information

Tax ID	110-01019002 & 110-01023000
Location/address	Land Lots 230, 246, 250, 251 of the 2 nd and 7 th Districts/north of Bethlehem Road between Interstate 75 and State Route 42
Parcel Size	39.08 +/- acres and 156.82 +/- acres
Current Zoning	M-2 (County Heavy Manufacturing) and RA (County Residential Agricultural) to M-2 (City Heavy Manufacturing) and RA (City Residential Agricultural)
Request	Annex and Rezone M-2-zoned and RA-zoned properties from unincorporated Henry County into the City of Locust Grove with an M-2 and RA zoning
Proposed Use	Future Potential Warehousing and Distribution
Existing Land Use	Vacant/residential agricultural and heavy Industrial zoned properties in unincorporated Henry County
Future Land Use	Industrial (unincorporated Henry County)
Recommendation	Approval

Summary

The Galloway Law Group, LLC, of Atlanta, GA, has submitted an application requesting annexation of 156.82 +/- acres and 39.08 +/- acres of property located north of Bethlehem Road between Interstate 75 and State Route 42 (Parcel IDs: 110-01023000 and 110-01019002) in Land Lots 246, 250, and 251 of the 2nd and 7th Districts. The properties are zoned RA (Residential Agricultural) and M-2 (Heavy Manufacturing), having a future land use designation of Industrial, and will remain so if incorporated into the City. The Applicant is utilizing the 100% method per O.C.G.A. §36-36-20. The Henry County Board of Commissioners raised no objections to this annexation during their April 20, 2021 meeting.

Preserving the Past...Planning the Future



REZONING EVALUATION REPORT

June 21, 2021

FILE: RZ-21-03-02

ANNEXATION & REZONING

Service Delivery / Infrastructure

Water and Sewer: According to the City of Locust Grove Public Works Department, the subject properties will be serviced by the Henry County Water Authority for water and sewer services. The subject properties are not located within any Watershed Protection Areas.

Police Services: If the Subject Property is annexed into the city limits, it will be placed on a regular patrol route.

Fire: Fire and emergency services will be performed by Henry County as is the case in other areas of the City.

Transportation Impacts: There are no discernible increases or changes to transportation patterns in the vicinity as a result of this request, given the commercial and industrial character of the neighboring area along State Route 42 remaining the same, if annexed into the City of Locust Grove. If and when future development of the subject properties occur, transportation impacts will be analyzed at that time.

Criteria for Evaluation of Rezoning Request

Section 17.04.315 Procedure for Hearing before City Council.

- (a) All proposed amendments to this chapter or to the official zoning map with required site plans shall be considered at public hearing. The City Council shall consider the following:
- (1) The possible effects of the change in the regulations or map on the character of a zoning district, a particular piece of property, neighborhood, a particular area, or the community. No impacts on the character of the particular area are anticipated as a result of this request given the zoning on the Subject Properties are going from RA-County to RA-City and M-2-County to M-2-City as part of an annexation request.
 - (2) The relation that the proposed amendment bears to the purpose of the overall zoning scheme with due consideration given to whether or not the proposed change will help carry out the purposes of this Chapter. The request will continue the residential/agricultural and industrial uses of the subject properties as it transitions from the unincorporated area of Henry County into the city limits of Locust Grove.
 - (3) Consistency with the Land Use Plan. The request is consistent with the County's Future Land Use Plan and development patterns in the immediate areas.

Preserving the Past... ..Planning the Future



REZONING EVALUATION REPORT

June 21, 2021

FILE: RZ-21-03-02

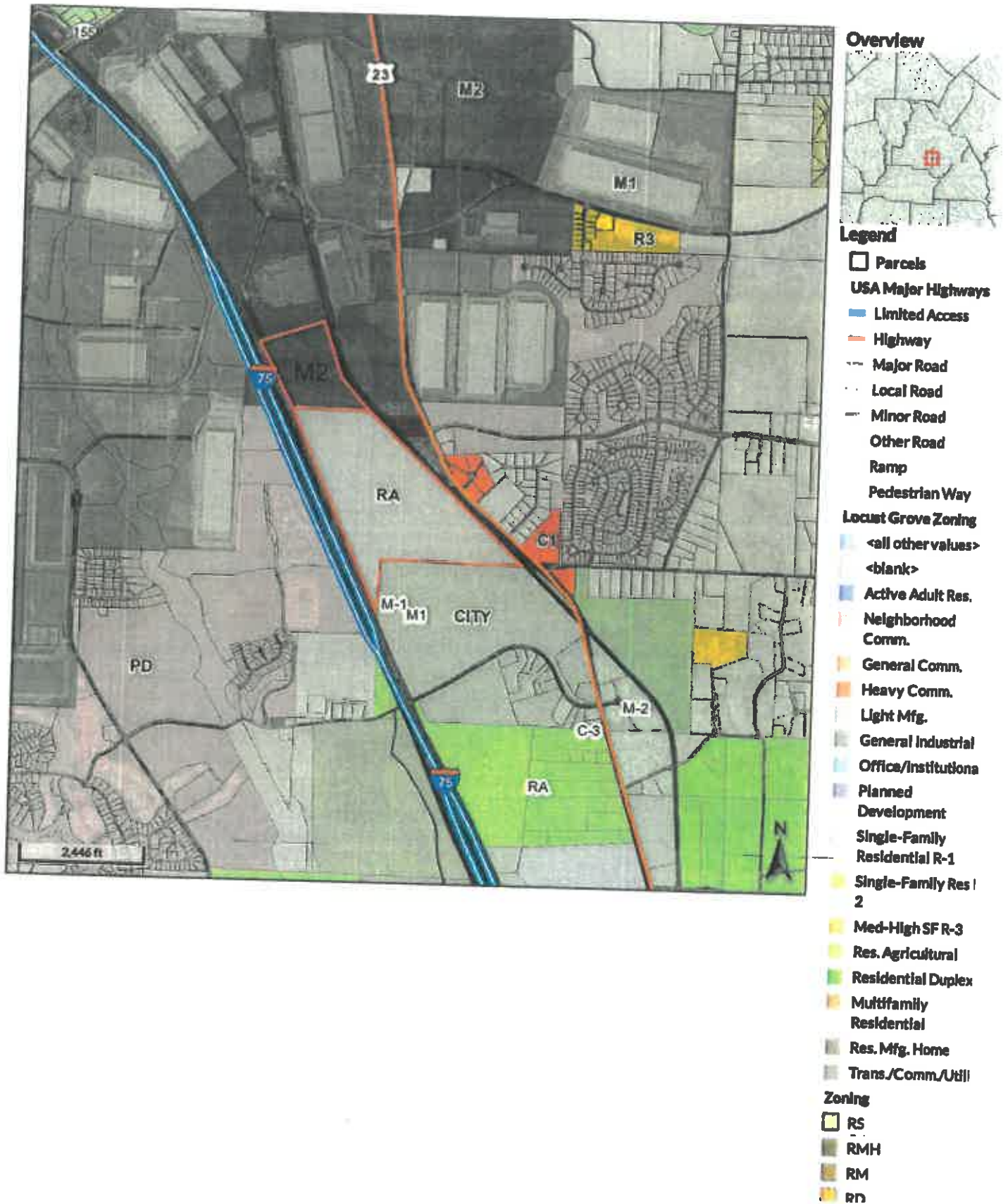
ANNEXATION & REZONING

- (4) **The potential impact of the proposed amendment on City infrastructure including water and sewerage systems.** There are no impacts to the City's infrastructure given the subject properties will not discontinue the current rural and single-family residential and industrial uses.
- (5) **The impact of the proposed amendment on adjacent thoroughfares and pedestrian vehicular circulation and traffic volumes.** No impacts are anticipated as a result of granting this request.
- (6) **The impact upon adjacent property owners should the request be approved.** There are no plans to change the manner in which the subject properties are utilized; therefore, impacts on adjacent property owners should be no more than they are at the present time.
- (7) **The ability of the subject land to be developed as it is presently zoned.** Currently, the subject properties are vacant but may be developed into permitted uses granted by the RA (Residential Agricultural) and M-2 (Heavy Manufacturing) zoning district both in the City and unincorporated County.
- (8) **The physical conditions of the site relative to its capability to be developed as requested, including topography, drainage, access, and size and shape of the property.** There are no known physical conditions or limitations that could preclude the use of the subject property.
- (9) **The merits of the requested change in zoning relative to any other guidelines and policies for development which the Community Development Commission and City Council may use in furthering the objectives of the Land Use Plan.** The merits are consistent with both the City's zoning ordinance and with future and existing development patterns in the area.

Recommendation

Taking into consideration that the annexation request meets all of the legalities required by the Georgia Annexation Law, staff recommends APPROVAL of the applicants request to annex the subject properties into the City of Locust Grove and rezone the subject properties from RA (Residential Agricultural) unincorporated Henry County to RA (Residential Agricultural) City of Locust Grove and M-2 (Heavy Manufacturing) unincorporated Henry County to M-2 (General Industrial) City of Locust Grove.

Preserving the Past... ..Planning the Future



2018 Henry County Future Land Use Map



April 1, 2021

Draft Future Land Use

Low Density Residential

Medium Density Residential

High Density Residential

Commercial

Public Institutional

Industrial

Transportation/Communications/Utilities

Parks and Conservation

1:18,000



USDA, FSA, Georgia, Moore, Soil Community Maps Coordinator, East, HENR, County, Subgroup, INCORPORATED, P. METROUSA, USGS, EPA, NPS, US Census Bureau, USDA

Henry County 2018 – Future Land Use Map

Subject Properties ● -- Industrial



EXHIBIT C

JONESBORO GROUP
SCNI D/B/A GRAY PUBLISHING
PO BOX 1286
LAWRENCEVILLE GA 30046
(770)963-9205

ORDER CONFIRMATION (CONTINUED)

Salesperson: DAWN WARD

Printed at 05/07/21 09:46 by dward-lv

Acct #: 119830

Ad #: 35729

Status: New

Public Hearing Notice
City of Locust Grove
June 21, 2021
6:00 PM
Locust Grove
Public Safety Building
3640 Highway 42 South
Locust Grove, GA 30048

Notice is hereby given as required by Chapter 66 of Title 36 of the Official Code of Georgia Annotated ("Zoning Procedures Law") and Section 17.04 of the Code of Ordinances, City of Locust Grove, Georgia, that the Locust Grove City Council, on Monday, June 21, 2021, at 6:00 PM, will conduct public hearings for the purpose of the following:

ANNEXATION

M-2-1-10-02 (Annexation)
The Galloway Law Group, LLC has submitted an application requesting annexation of 166.62 +/- acres and 39.08 +/- acres of property located north of Bethlehem Road between Interstate 76 and State Route 42 (Parcel IDs: 110-01029000 and 110-01019002) in Land Lots 248, 250, and 251 of the 2nd and 7th Districts. The properties are zoned RA (Residential Agricultural) and M-2 (Heavy Manufacturing), having a future land use designation of industrial, and will remain so if incorporated into the City.

The public hearing will be held in the Locust Grove Public Safety Building, located at 3640 Highway 42 South.

Daunte Gibbs
Community Development
Director -
City of Locust Grove
35729-5/18/2021

AFFIDAVIT OF SIGN POSTING

Personally appeared, before the undersigned officer duly authorized to administer oaths, Mr. Brian Fornal, who, after being duly sworn, testifies as follows:

1.

My name is Brian Fornal. I am over twenty-one years of age and competent to give this, my affidavit, based upon my personal knowledge.

2.

The Galloway Law Group, LLC has submitted an application requesting annexation of 156.82 +/- acres and 39.08 +/- acres of property located north of Bethlehem Road between Interstate 75 and State Route 42 (Parcel IDs: 110-01023000 and 110-01019002) in Land Lots 246, 250, and 251 of the 2nd and 7th Districts. The properties are zoned RA (Residential Agricultural) and M-2 (Heavy Manufacturing), having a future land use designation of Industrial, and will remain so if incorporated into the City.

3.

On the 19th day of May 2021, I, Brian Fornal, posted double-sided sign notifications on the property advertising a public hearing on the above requests to be heard by the Locust Grove City Council on the 21st day of June 2021 at 6:00 p.m. at the Locust Grove Public Safety Building, 3640 Highway 42, Locust Grove, Georgia 30248. Photographs of same are attached hereto as Exhibit "A" and incorporated herein by reference. The public hearing signs were posted at the following locations:

- 1) Double-sided signs were posted at 9:55 a.m. on Hwy 42 North of the City by Harris Drive on 5/17/2021.

FURTHER AFFIANT SAYETH NOT.

This 17th day of May 2021.


Affiant

Sworn and subscribed before me
this 17th day of May


Notary Public



Exhibit "A"

Signs Posted – May 17, 2021 9:55 a.m. On Hwy. 42 north of the city by Harris Drive





Community Development Department

P. O. Box 900
Locust Grove, Georgia 30248
Phone: (770) 957-5043
Facsimile (770) 954-1223

Item Coversheet

Item: A Resolution to create a streetlight district in Liberty Grove, a residential subdivision (f/k/a Derringstone at Locust Grove Station, Phase 2)

Action Item: Yes No
Public Hearing Item: Yes No
Executive Session Item: Yes No
Advertised Date: NA
Budget Item: NA
Date Received: May 21, 2021
Workshop Date: June 21, 2021
Regular Meeting Date: July 6, 2021

Discussion:

Staff received an application to create a streetlight district in Liberty Grove, a residential subdivision.

- Number of Lots: 60
- Number of Lights: 9 (Central GA EMC)
- Type of Lights: Colonial LED
- Cost per Light: \$9.75
- Cost per Month: \$87.75
- Cost per Year: \$1,053
- Administrative Cost: 15% of annual cost = \$157.95
- Pro Rata Cost per Lot: $\$1,053 + \$157.95 / 60 \text{ lots} = \underline{\$20.18 \text{ per year}}$

Comments:

The City's Street Light Tax District Ordinance permits the Council to create streetlight districts by resolution. The City will pay the electricity usage fees on the lights each month then be reimbursed annually for these fees by way of a pro rata cost that is added to each property tax statement. This pro rata cost includes each lot's share of the electricity usage fees and administrative costs.

The Application represents 60 of the 60 total lots in the subdivision. 100% of the property owners in this subdivision are in favor of creating this streetlight district.

Recommendation:

Staff recommends approval of the Resolution to create a new streetlight district in Liberty Grove.

RESOLUTION NO. _____

A RESOLUTION TO APPROVE A REQUEST TO CREATE A STREET LIGHT TAX DISTRICT IN LIBERTY GROVE SUBDIVISION IN ACCORDANCE WITH CHAPTER 3.10 OF THE CITY OF LOCUST GROVE CODE OF ORDINANCES; TO PROVIDE CONDITIONS FOR APPROVAL; TO IDENTIFY A PUBLIC PURPOSE; TO AUTHORIZE THE MAYOR AND CITY CLERK TO EXECUTE ANY DOCUMENTS NECESSARY TO CARRY OUT THIS RESOLUTION; TO PROVIDE FOR SEVERABILITY; TO REPEAL INCONSISTENT PROVISIONS; TO PROVIDE AN EFFECTIVE DATE; AND FOR OTHER PURPOSES

W I T N E S S E T H :

WHEREAS, the City of Locust Grove, Georgia (“City”) adopted Article II, Chapter 3.10 (“Chapter”) entitled “Street Light Tax Districts”; and,

WHEREAS, the purpose of the Chapter is to provide the City with a procedure for the installation, maintenance and operation of street lights in certain public rights-of-way in the City of Locust Grove and for the promotion of health, safety, prosperity and general welfare of the citizens of Locust Grove; and,

WHEREAS, Mark Walker, of GDCI GA 5, LP, (“Owner”) submitted an *Application for Special Tax District – Street Lighting* and a *Petition for Special Tax District – Street Lighting* (“Application”) attached as **Exhibit “A”** for the subdivision known as Liberty Grove, (the “Subdivision”); and,

WHEREAS, the Application indicates support from one-hundred percent (100%) of the property owners in the Subdivision in accordance with the Chapter; and,

WHEREAS, the Owner submitted a copy of the Central Georgia Electric Membership Corporation Underground Wiring / Outdoor Lighting Agreement for the Subdivision (“Request”) outlining the costs, quantities, locations, terms and conditions associated with the Request attached as **Exhibit “B”**; and,

WHEREAS, the City agrees to pay the monthly streetlight fee of \$87.75 (\$1,053 annually) to Central Georgia EMC in accordance with the Request and to be reimbursed for such payments by way of assessments imposed upon all property owners within this subdivision in the amount of \$20.18 (includes a 15% administrative fee) per lot annually; and,

WHEREAS, the Mayor and City Council (“Council”) reviewed the Application and Request during a workshop meeting held on June 21, 2021; and,

WHEREAS, the Request was found to be generally consistent with the purpose and intent of the Chapter; and,

WHEREAS, the Council, in the exercise of their sound judgment and discretion, after giving thorough thought to all implications involved, and keeping in mind the public interest and welfare to the citizens of the City, have determined this request for the creation of a street light tax district to be in the best interests of the citizens of the City, that this Resolution be adopted.

**THEREFORE, IT IS NOW RESOLVED BY THE CITY OF LOCUST GROVE,
GEORGIA, AS FOLLOWS:**

1. **Finding.** That the Council hereby finds that the Application submitted by the Owner generally conforms to the requirements of Chapter 3.10 of City of Locust Grove Code.
2. **Public Purpose.** The Council finds that the foregoing actions constitute a major stem in preserving the health, safety, well-being and economic vitality of the community and are, therefore, consistent with its public purposes and powers.
3. **Authority.** That the Council hereby authorizes the Mayor to execute the *Central Georgia Underground Wiring / Outdoor Lighting Agreement* for the Subdivision and any other documents necessary to carry out this Resolution, and to place this Resolution and any related documents among the official records of the City for future reference.
4. **Severability.** To extent any portion of this Resolution is declared to be invalid, unenforceable, or nonbinding, that shall not affect the remaining portions of this Resolution.
5. **Repeal of Conflicting Provisions.** All Council resolutions are hereby repealed to the extent they are inconsistent with this Resolution.
6. **Effective Date.** This Resolution shall take effect immediately.

THIS RESOLUTION adopted this 6th day of July 2021.

ROBERT S. PRICE, MAYOR

ATTEST:

MISTY SPURLING, CITY CLERK

(seal)

APPROVED AS TO FORM:

CITY ATTORNEY

EXHIBIT "A"

Application for Special Tax District – Street Lighting

Application For Special Tax District - Street Lighting

We, the undersigned, all being property owners of the City of Locust Grove Special Tax District for Street Lighting, being the Liberty Grove (fka Derrystone, Pod B) (Subdivision) in Land Lot(s) 155, _____, and _____ of the 2nd Land District at Theberton Trail (road), do hereby petition the Mayor and City Council of the City of Locust Grove "City" for the placement of streetlights through our subdivision or street(s).

Each of us do hereby pledge and consent to levying of a lien by the City against property we own for the purpose of payment for the cost of maintenance and operation of the streetlights.

There are 60 (number) lots currently existing in the Special Tax District

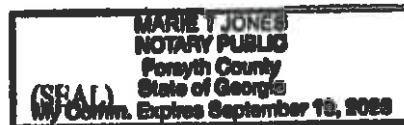
Liberty Grove (fka Derrystone, Pod B) (Subdivision), and each owner as shown on the tax records has affirmatively signed this petition or their indication for disapproval is noted herein.

The petition represents 60 (number) affirmative votes, representing 100 % of this district to be affected in this request. Your signature on this petition indicates that you have read and fully understand all information contained with Chapter 3.10 of the Code of Ordinances of the City of Locust Grove.

Personally appeared before me, a Notary Public, the undersigned affiance, who says on oath that Joe Ingram for Starlight Homes Georgia LLC (name) is one of the subscribing witnesses to the within instrument; and, that each said witnesses saw the execution and delivery of the same by each grantor therein for the purpose set forth; and, that each of said witnesses signed the same as supported. Sworn to and subscribed to me, this 16 day of June, 2021.

Joe Ingram
SUBSCRIBING WITNESS

Marie T. Jones
NOTARY PUBLIC



PLEASE INDICATE WHICH UTILITY COMPANY SERVICES YOUR PROPOSED STREET LIGHT DISTRICT:

- GEORGIA POWER CENTRAL GEORGIA OTHER _____
- NEW STREETLIGHT DISTRICT ADDING STREETLIGHTS TO EXISTING DISTRICT

EXHIBIT "B"

*Central Georgia Electric Membership Corporation
Underground Wiring / Outdoor Lighting Agreement*

CENTRAL GEORGIA ELECTRIC MEMBERSHIP CORPORATION
923 SOUTH MULBERRY STREET
JACKSON, GEORGIA 30233

UNDERGROUND WIRING / OUTDOOR LIGHTING AGREEMENT

Name: LOCUST GROVE CITY OF Acct. No.: 12223-030 Loc. No.: 101127704
(Print Name as Listed on Bill Card)

Address: LIBERTY GROVE STREETLIGHTS

I (we) hereby apply for a lease of outdoor lighting equipment to Central Georgia EMC under the terms and conditions set forth below:

1. INFORMATION AND COST

Lights, Fixtures, and Poles:

Quantity 9 Rate 13 Class 5 Cost Per Month \$ 9.75 each Total Cost \$ 87.75 per month Description: COLONIAL LED DISC
Quantity ___ Rate ___ Class ___ Cost Per Month \$ ___ each Total Cost \$ ___ per month Description: ___
Quantity ___ Rate ___ Class ___ Cost Per Month \$ ___ each Total Cost \$ ___ per month Description: ___
Quantity ___ Rate ___ Class ___ Cost Per Month \$ ___ each Total Cost \$ ___ per month Description: ___

TOTAL COST PER MONTH \$ 87.75

Total CIAC (Contribution in Aid of Construction) = \$ 0.00

3. The corporation reserves the right to increase or decrease rates of outdoor lighting without prior written notice to each individual lessee.
4. Fixtures served by underground wiring will be available at these rates when the underground cable is buried in the same trench with the underground distribution system and the excess trench required does not exceed thirty (30) feet per fixture for a small LED fixture or eighty (80) feet per fixture for a large LED fixture or post top LED fixture. A contribution in aid of construction shall be paid in advance for the footage in excess of the base allowance.
5. I (we) will perform all trenching, install duct furnished by the Corporation, backfill, and complete the paving to the mutual satisfaction of all parties concerned where underground wiring is desired and paving or other obstacles exist.
6. I (we) will pay in advance a contribution in aid of construction in the amount of the current installed cost of additional pole(s) if more than one pole must be installed. The additional pole(s) will remain the property of the Corporation.
7. All lighting equipment, wiring, etc. will be furnished by the Corporation.
8. The Corporation will perform ordinary maintenance of light and equipment which will be done during normally scheduled working hours. Current overtime fee per service call shall be paid to the serviceperson making the repairs when requested at any time other than the normal working hours.
9. I (we) will pay for replacement of any equipment damaged or destroyed by vehicle collision or vandalism.
10. I (we) will pay the lease for the light(s) at the rates above according to current billing procedures. The Corporation may discontinue service without further notice if the bill is not paid.
11. The corporation shall use reasonable care to maintain constant service but shall not be liable for interruption through acts of God, strikes, labor troubles, or any other causes beyond the control of the Corporation.
12. I (we) will pay a Membership or Additional Service fee and be bound by the provisions of the Articles of Incorporation, Bylaws, and rules of the Corporation that may be adopted from time to time.

13. This agreement shall become effective on the date of service is first delivered and shall remain in effect for 5 years and thereafter until terminated by either party's giving three month notice.

14. This agreement shall be binding upon the successors, legal representative, and assigns of the respective parties hereto.

15. The Corporation reserves the right to shield the light or relocate the pole and light if objected by the adjacent landowners.

16. I (we) will grant, bargain, sell, and convey unto the Corporation, its successors, and assign an easement and right-of-way for the purpose of constructing, inspecting, maintaining, operating, repairing, or replacing its facilities. The Corporation shall have the right to egress to and egress from the easement over the lands of the lessee adjacent to the easement and lying between public and private roads and easements.

Signature: _____

Print Name: _____

Title: _____

Date: _____



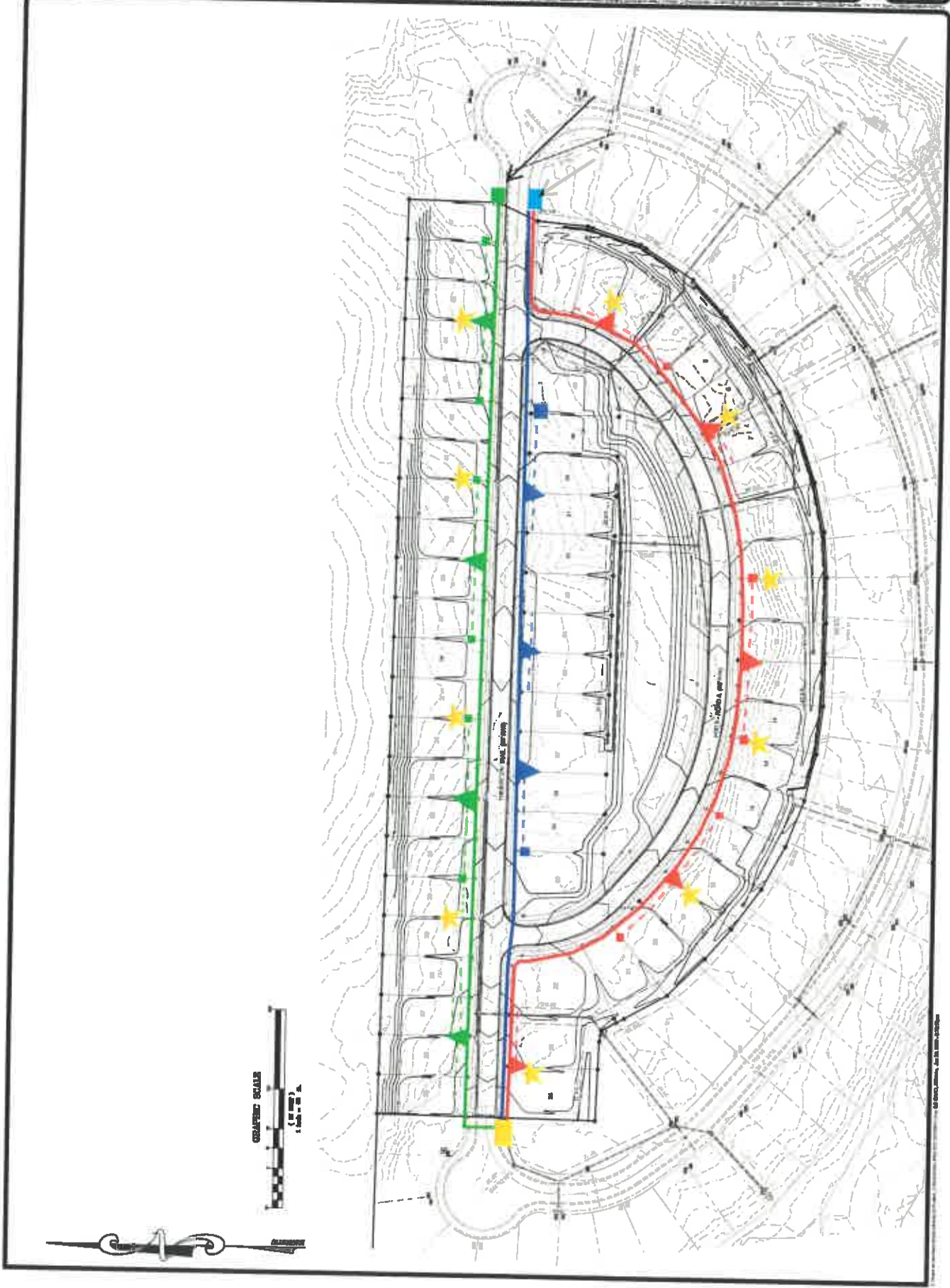
GRADING PLAN
FORM
DERRINGSTONE MANOR
at LGS - PH. 2 (AKA: POD B)
PERMIT REVISION
LOCATION:
LAND LOTS 18A & 18B, DISTRICT 2
LOCALITY: BIRMGHAM, ALABAMA

NO.	DATE	REVISION

DATE	
SCALE	
PROJECT NO.	
PROJECT NAME	
DESIGNED BY	
CHECKED BY	
APPROVED BY	

STATE OF ALABAMA
PROFESSIONAL ENGINEER
No. 12345
Expires 12/31/2024

PROJECT NUMBER
9.0





Community Development Department

P. O. Box 900
Locust Grove, Georgia 30248
Phone: (770) 957-5043
Facsimile (770) 954-1223

Item Coversheet

Item: **An Ordinance to approve the final plat for Berkeley Lakes Phase 2A, a single-family residential subdivision – located at 71 Singley Circle.**

Action Item: **Yes** **No**

Public Hearing Item: **Yes** **No**

Executive Session Item: **Yes** **No**

Advertised Date: **N/A**

Budget Item: **No**

Date Received: **April 13, 2021**

Workshop Date: **June 21, 2021**

Regular Meeting Date: **July 6, 2021**

Discussion:

Moore Bass of McDonough, GA submitted the final plat for Berkeley Lakes subdivision – Phase 2A to be located at 71 Singley Circle.

Applicant/Developer:
DRB GROUP GA, LLC
160 WHITNEY STREET
FAYETTEVILLE, GA 30214

The general concept is 50 single-family residential lots.

Project Data:

- **Location = 71 Singley Circle**
- **Gross Acreage = approximately 24.59 +/- acres**
- **Property zoning = PR-4 with conditions (Planned Residential Development)**
- **Lot Count = 50 (Phase 2A)**
- **Open Space = 2.70 +/- acres (Phase 2A)**
- **Minimum Lot Size = 10,000 sq. ft.**
- **Minimum Lot Width = 70'**
- **Minimum House Size = 1,800 sq. ft. for Single Story
2,200 sq. ft. for Two Story**
- **Setbacks:**
 - **Front = 30'**
 - **Side = 5' (15' Between Buildings)**
 - **Rear = 25'**

Zoning Conditions:

1. An updated water availability letter from the Henry County Water Authority must be submitted prior to or in conjunction with the initial set of construction documents for a land disturbance permit.
2. A fifty (50) foot planted landscape buffer be installed along the southern boundary of Parcel 146-01032000. The purpose of this buffer is to mitigate visual impacts on the adjacent property to the south.
3. The existing well on Parcel 146-01032000 shall be abandoned and closed in accordance with Georgia law under the procedures mandated by the Georgia Department of Public Health to avoid contamination of the remaining wells in the area.
4. A fifteen (15) foot "No Access" easement shall be provided along the eastern boundary for the purpose of preventing vehicular access to Singley Circle.

Recommendation:

Staff recommends approval of Berkeley Lakes Phase 2A subdivision final plat.

I MOVE TO (approve/deny/table) THE RESOLUTION APPROVING THE FINAL PLAT FOR BERKELEY LAKES – PHASE 2A TO BE LOCATED 71 SINGLEY CIRCLE.

ORDINANCE NO. _____

AN ORDINANCE TO AUTHORIZE THE APPROVAL OF THE FINAL SUBDIVISION PLAT FOR BERKELEY LAKES PHASE 2A; LOCATED AT 71 SINGLEY CIRLE; TO PROVIDE AN EFFECTIVE DATE; AND FOR OTHER PURPOSES.

W I T N E S S E T H :

WHEREAS, the Locust Grove Community Development Department received a final subdivision plat prepared for DRB Group GA, LLC on April 13, 2021, for property located on 71 Singley Circle in Land Lot 163 of the 2nd District, Locust Grove, Georgia (the "Property"); and,

WHEREAS, the current owner of the property is identified as DRB Group GA, LLC, 160 Whitney Street Fayetteville, GA 30214 (the "Owner"); and,

WHEREAS, the Property was rezoned to PR-4 with conditions (Planned Residential Development) by the Locust Grove City Council in January 2019; and,

WHEREAS, the final plat illustrates the Owner's plan to develop the 24.59 +/--acre tract into a 50-lot single-family residential subdivision phase 2A as described and attached hereto as part of Exhibit A; and,

WHEREAS, the Locust Grove City Council reviewed the final subdivision plat, the layout, lots and amenities contained therein, and found it to be in accordance with the City's PR-4 zoning ordinance; and,

**NOW, THEREFORE, BE IT ORDAINED BY THE COUNCIL OF THE CITY OF
LOCUST GROVE:**

SECTION 1 – The City of Locust Grove hereby accepts the final plat known as "BERKELEY LAKES SUBDIVISION FINAL PLAT Phase 2A" dated March 22, 2021.

SECTION 2 – The Mayor and Community Development Director are hereby authorized to execute any and all documents necessary to record the plat with the Henry County Clerk of Superior Court as required by law.

SECTION 3 – That this Ordinance shall be effective upon receipt and approval of all final plat documents required by the Subdivision Ordinance.

SO ORDAINED this 6th day of July 2021.

ROBERT S. PRICE, Mayor

ATTEST:

MISTY SPURLING, City Clerk

(Seal)

APPROVED AS TO FORM:

City Attorney

EXHIBIT "A"

**FINAL PLAT OF
BERKELEY LAKES PHASE 2A
LOCATED IN
LAND LOT 163 - 2ND DISTRICT
CITY OF LOCUST GROVE
HENRY COUNTY, GEORGIA**



DEVELOPMENT DATA

1. DEVELOPER: PROPERTY OWNER: BERKELEY LAKES, LLC
 2. PROJECT NAME: BERKELEY LAKES PHASE 2A
 3. PROJECT ADDRESS: 16300 WOODBRIDGE RD, LOCUST GROVE, GA 30600
 4. PROJECT PHONE: (770) 546-1000
 5. PROJECT FAX: (770) 546-1000
 6. PROJECT WEBSITE: WWW.BERKELEYLAKES.COM
2. ENGINEER: MOORE BASS CONSULTANTS, INC.
 3. ENGINEER ADDRESS: 1000 WOODBRIDGE RD, LOCUST GROVE, GA 30600
 4. ENGINEER PHONE: (770) 546-1000
 5. ENGINEER FAX: (770) 546-1000
 6. ENGINEER WEBSITE: WWW.MOOREBASS.COM
3. SURVEYOR: MOORE BASS CONSULTANTS, INC.
 4. SURVEYOR ADDRESS: 1000 WOODBRIDGE RD, LOCUST GROVE, GA 30600
 5. SURVEYOR PHONE: (770) 546-1000
 6. SURVEYOR FAX: (770) 546-1000
 7. SURVEYOR WEBSITE: WWW.MOOREBASS.COM
4. CITY OF LOCUST GROVE: 1000 WOODBRIDGE RD, LOCUST GROVE, GA 30600
 5. CITY OF LOCUST GROVE PHONE: (770) 546-1000
 6. CITY OF LOCUST GROVE FAX: (770) 546-1000
 7. CITY OF LOCUST GROVE WEBSITE: WWW.LOCUSTGROVEGA.COM

1. THE SURVEY WAS MADE BY MOORE BASS CONSULTANTS, INC. ON 10/15/2024.
2. THE SURVEY WAS MADE BY MOORE BASS CONSULTANTS, INC. ON 10/15/2024.
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16. THE SURVEY WAS MADE BY MOORE BASS CONSULTANTS, INC. ON 10/15/2024.
17. THE SURVEY WAS MADE BY MOORE BASS CONSULTANTS, INC. ON 10/15/2024.
18. THE SURVEY WAS MADE BY MOORE BASS CONSULTANTS, INC. ON 10/15/2024.
19. THE SURVEY WAS MADE BY MOORE BASS CONSULTANTS, INC. ON 10/15/2024.
20. THE SURVEY WAS MADE BY MOORE BASS CONSULTANTS, INC. ON 10/15/2024.

OWNER / DEVELOPER
 DDB GROUP GA, LLC
 100 WOODBRIDGE STREET
 FORT WORTH, TX 76104

SURVEYOR / ENGINEER
 MOORE BASS CONSULTANTS, INC.
 1000 WOODBRIDGE STREET
 LOCUST GROVE, GA 30600
 (770) 546-1000

24-HOUR CONTACT
 OSCAR PARRON
 100 WOODBRIDGE STREET
 FORT WORTH, TX 76104
 EMAIL: OSCAR@MOOREBASS.COM

REFERENCES

FLOOD / WETLANDS NOTE

SURVEY NOTES

1. THE SURVEY WAS MADE BY MOORE BASS CONSULTANTS, INC. ON 10/15/2024.

2. THE SURVEY WAS MADE BY MOORE BASS CONSULTANTS, INC. ON 10/15/2024.

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20. THE SURVEY WAS MADE BY MOORE BASS CONSULTANTS, INC. ON 10/15/2024.

Moore Bass

PROJECT NAME
 CLIENT NAME
 100 WOODBRIDGE STREET
 FORT WORTH, TX 76104

PROJECT NAME
 CLIENT NAME
 100 WOODBRIDGE STREET
 FORT WORTH, TX 76104



PROJECT NAME
 CLIENT NAME
 100 WOODBRIDGE STREET
 FORT WORTH, TX 76104



PROJECT NAME
 CLIENT NAME
 100 WOODBRIDGE STREET
 FORT WORTH, TX 76104

SCORING EVALUATION REPORT
PAGE 04-04



On November 10, 2011, the staff of Moore Bass Consultants, Inc. (Moore Bass) conducted a site visit to the project site located at Laurel Point, Georgia. The purpose of the site visit was to observe the project site and to discuss the project with the project manager, Mr. [Name].

The site visit was conducted by Moore Bass staff members [Name] and [Name]. The project manager, Mr. [Name], was also present. The site visit was conducted in the presence of the project manager and the Moore Bass staff members. The project manager provided a tour of the project site and discussed the project with the Moore Bass staff members.

The project manager provided a tour of the project site and discussed the project with the Moore Bass staff members. The project manager provided a tour of the project site and discussed the project with the Moore Bass staff members.

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Prepared by: [Name]

Reviewed by: [Name]

Approved by: [Name]

Checked by: [Name]

Checked by: [Name]

Checked by: [Name]

Reviewed by: [Name]

Reviewed by: [Name]

Reviewed by: [Name]

Reviewed by: [Name]

Reviewed by: [Name]

Reviewed by: [Name]

Reviewed by: [Name]

Reviewed by: [Name]

Reviewed by: [Name]

Reviewed by: [Name]

Reviewed by: [Name]

Reviewed by: [Name]

Reviewed by: [Name]

Reviewed by: [Name]

Reviewed by: [Name]

Reviewed by: [Name]

Reviewed by: [Name]

Reviewed by: [Name]

**FINAL PLAN FOR
BERKLEY LAKES PHASE 2A
LAND LOT 103 - 2ND DISTRICT
CITY OF LOCUST GROVE
HENRY COUNTY, GEORGIA**

Moore Bass

PROJECT NAME:
BERKLEY LAKES
LOCUST GROVE, GEORGIA

CLIENT NAME:
DHS GROUP SA, LLC
180 WATKINS STREET
PANTHERVILLE, GA 30084

PROJECT NUMBER:

DATE:

SCALE:



PROJECT TITLE:

FINAL PLAN:



3 OF 3

CITY OF LOCUST GROVE APPROVAL:

FOR THE CITY ENGINEER'S REVIEW AND APPROVAL, THE CITY ENGINEER SHALL REVIEW THIS PLAN FOR CONFORMANCE WITH THE CITY OF LOCUST GROVE ORDINANCES AND THE GEORGIA SUBDIVISION CONTROL ACT. THE CITY ENGINEER'S REVIEW IS LIMITED TO TECHNICAL ASPECTS AND DOES NOT CONSTITUTE A GUARANTEE OF THE ACCURACY OF THE INFORMATION PROVIDED HEREON.

CITY OF LOCUST GROVE:

FOR THE CITY ENGINEER'S REVIEW AND APPROVAL, THE CITY ENGINEER SHALL REVIEW THIS PLAN FOR CONFORMANCE WITH THE CITY OF LOCUST GROVE ORDINANCES AND THE GEORGIA SUBDIVISION CONTROL ACT. THE CITY ENGINEER'S REVIEW IS LIMITED TO TECHNICAL ASPECTS AND DOES NOT CONSTITUTE A GUARANTEE OF THE ACCURACY OF THE INFORMATION PROVIDED HEREON.

WATER & SEWER NOTES:

1. THE WATER AND SEWER MAINS ARE SHOWN AS DASHED LINES WITH 'W' AND 'S' MARKERS RESPECTIVELY.
2. ALL WATER MAINS SHALL BE 12" DIA. WITH A MINIMUM COVER OF 18" EXCEPT WHERE SHOWN OTHERWISE.
3. ALL SEWER MAINS SHALL BE 12" DIA. WITH A MINIMUM COVER OF 18" EXCEPT WHERE SHOWN OTHERWISE.
4. ALL WATER AND SEWER MAINS SHALL BE INSTALLED TO A DEPTH OF 5' BELOW FINISHED GRADE EXCEPT WHERE SHOWN OTHERWISE.
5. ALL WATER AND SEWER MAINS SHALL BE INSTALLED TO A DEPTH OF 5' BELOW FINISHED GRADE EXCEPT WHERE SHOWN OTHERWISE.

LEGEND:

(Symbol)	(Symbol)	(Symbol)	(Symbol)
(Symbol)	(Symbol)	(Symbol)	(Symbol)
(Symbol)	(Symbol)	(Symbol)	(Symbol)

GRAPHIC SCALE:

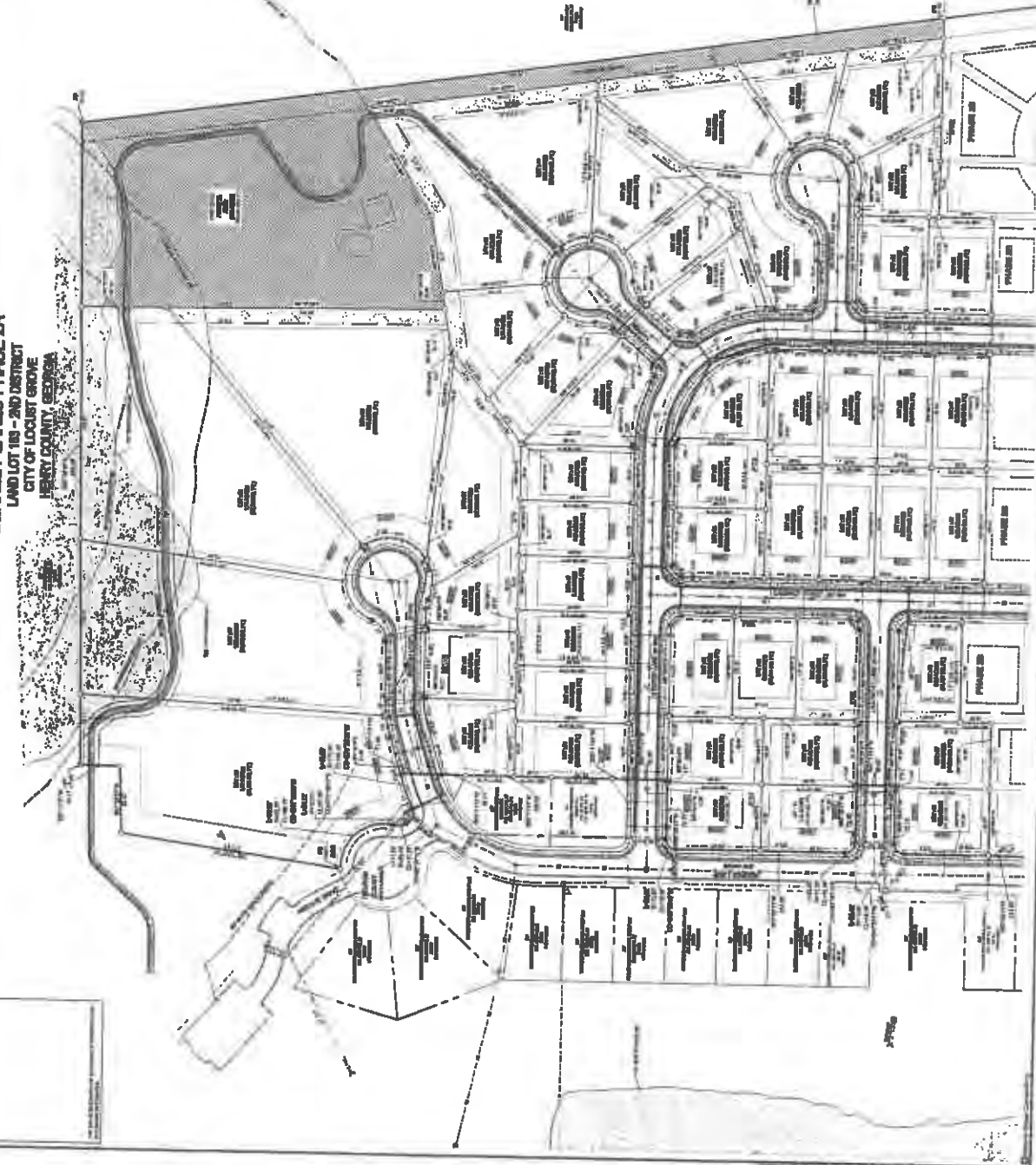
1" = 50'

RETRACT NOTE:

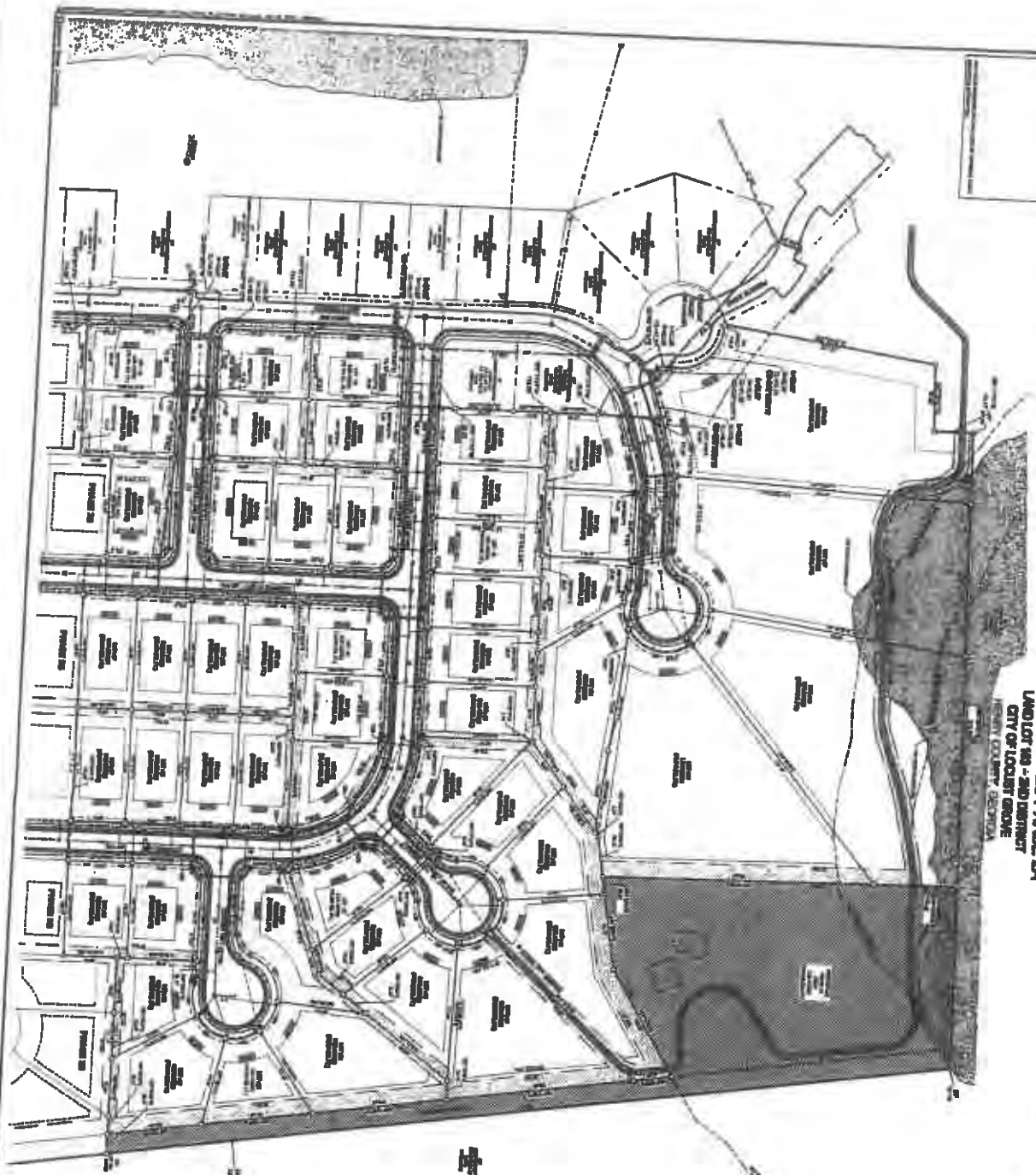
THIS PLAN IS A RETRACT OF THE ORIGINAL PLAN AND DOES NOT REPRESENT THE ORIGINAL PLAN.

NO.	DESCRIPTION
1	12" WATER MAIN
2	12" SEWER MAIN
3	6" WATER MAIN
4	6" SEWER MAIN
5	4" WATER MAIN
6	4" SEWER MAIN
7	3" WATER MAIN
8	3" SEWER MAIN
9	2" WATER MAIN
10	2" SEWER MAIN
11	1.5" WATER MAIN
12	1.5" SEWER MAIN

NO.	DESCRIPTION
1	12" WATER MAIN
2	12" SEWER MAIN
3	6" WATER MAIN
4	6" SEWER MAIN
5	4" WATER MAIN
6	4" SEWER MAIN
7	3" WATER MAIN
8	3" SEWER MAIN
9	2" WATER MAIN
10	2" SEWER MAIN
11	1.5" WATER MAIN
12	1.5" SEWER MAIN



**FINAL PLAN FOR
BERKLEY LAKES PHASE 2A
LAND LOT 88 - 2ND DISTRICT
CITY OF LOCOUST GROVE
HENRY COUNTY, GEORGIA**



CITY OF LOCOUST GROVE, APPROVAL

WATER & SEWER NOTES

1. ALL LOTS SHALL BE SERVED BY THE CITY WATER & SEWER SYSTEM.
2. THE DEVELOPER SHALL PROVIDE ALL NECESSARY WATER & SEWER CONNECTIONS TO THE CITY SYSTEM.
3. THE DEVELOPER SHALL PROVIDE ALL NECESSARY WATER & SEWER CONNECTIONS TO THE CITY SYSTEM.
4. THE DEVELOPER SHALL PROVIDE ALL NECESSARY WATER & SEWER CONNECTIONS TO THE CITY SYSTEM.

LEGEND

- 1. LOT LINES
- 2. PROPERTY LINES
- 3. EASEMENTS
- 4. UTILITIES
- 5. STREETS
- 6. DRIVEWAYS
- 7. FENCES
- 8. TREES
- 9. ROCKS
- 10. SURFACE ELEVATIONS



GENERAL NOTES

1. THE DEVELOPER SHALL PROVIDE ALL NECESSARY WATER & SEWER CONNECTIONS TO THE CITY SYSTEM.
2. THE DEVELOPER SHALL PROVIDE ALL NECESSARY WATER & SEWER CONNECTIONS TO THE CITY SYSTEM.
3. THE DEVELOPER SHALL PROVIDE ALL NECESSARY WATER & SEWER CONNECTIONS TO THE CITY SYSTEM.
4. THE DEVELOPER SHALL PROVIDE ALL NECESSARY WATER & SEWER CONNECTIONS TO THE CITY SYSTEM.

LOT NO.	AREA (SQ. FT.)	PERMITS	REMARKS
1	12,345	1	
2	12,345	1	
3	12,345	1	
4	12,345	1	
5	12,345	1	
6	12,345	1	
7	12,345	1	
8	12,345	1	
9	12,345	1	
10	12,345	1	
11	12,345	1	
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92	12,345	1	
93	12,345	1	
94	12,345	1	
95	12,345	1	
96	12,345	1	
97	12,345	1	
98	12,345	1	
99	12,345	1	
100	12,345	1	



PROJECT NAME: BERKLEY LAKES LOUDEST GROVE, GEORGIA
CLIENT NAME: THE GROUP HAS LLC 8000 BERRY CREEK FORTSMITH, GA 30428





Community Development Department

P. O. Box 900
Locust Grove, Georgia 30248
Phone: (770) 957-5043
Facsimile (770) 954-1223

Item Coversheet

Item: **An Ordinance to approve the preliminary plat for
Peeksville Road Subdivision, a single-family residential
subdivision – located on Peeksville Road.**

Action Item: **Yes** **No**

Public Hearing Item: **Yes** **No**

Executive Session Item: **Yes** **No**

Advertised Date: **N/A**

Budget Item: **No**

Date Received: **May 17, 2021**

Workshop Date: **June 21, 2021**

Regular Meeting Date: **July 6, 2021**

Discussion:

Whitley Engineering INC. submitted the preliminary plat for Peeksville Road subdivision to be located on Peeksville Road (Parcel ID: 129-01068000).

Applicant/Developer:
CAPSHAW DEVELOPMENT COMPANY, LLC.
450 RACETRACK ROAD
MCDONOUGH, GA 30252

The general concept is 49 single-family residential lots.

Project Data:

- **Location = Peeksville Road**
- **Gross Acreage = approximately 22.405 +/- acres**
- **Property zoning = R-3**
- **Lot Count = 49**
- **Minimum Lot Size = 12,000 sq. ft.**
- **Minimum Lot Width = 80'**
- **Minimum House Size = 1,700 sq. ft. for Single Story
2,200 sq. ft. for Two Story**
- **Setbacks:**
 - **Front = 40'**
 - **Side = 10'**
 - **Rear = 30'**

Recommendation:

Staff recommends approval of Peeksville Road subdivision preliminary plat.

I MOVE TO (approve/deny/table) THE RESOLUTION APPROVING THE PRELIMINARY PLAT FOR PEEKSVILLE ROAD SUBDIVISION TO BE LOCATED ON PEEKSVILLE ROAD.

ORDINANCE NO. _____

AN ORDINANCE TO AUTHORIZE THE APPROVAL OF THE PRELIMINARY PLAT FOR PEEKSVILLE ROAD SUBDIVISION; LOCATED ON PEEKSVILLE ROAD (PARCEL ID: 129-01068000); TO PROVIDE AN EFFECTIVE DATE; AND FOR OTHER PURPOSES.

W I T N E S S E T H :

WHEREAS, the Locust Grove Community Development Department received a preliminary subdivision plat prepared for Capshaw Development Company, LLC on May 17, 2021, for property located on Peeksville Road Parcel ID: 129-01068000 in Land Lot 186 of the 2nd District, Locust Grove, Georgia (the "Property"); and,

WHEREAS, the current owner of the property is identified as Capshaw Development Company, LLC, 450 Racetrack Road McDonough, GA 30252 (the "Owner"); and,

WHEREAS, the preliminary plat illustrates the Owner's plan to develop the 22.405 +/--acre tract into a 49-lot single-family residential subdivision as described and attached hereto as part of Exhibit A; and,

WHEREAS, the Locust Grove City Council reviewed the preliminary subdivision plat, and the layout, lots and amenities contained therein, and found it to be in accordance with the City's R-3 zoning ordinance; and,

NOW, THEREFORE, BE IT ORDAINED BY THE COUNCIL OF THE CITY OF LOCUST GROVE:

SECTION 1 – The City of Locust Grove hereby accepts the preliminary plat known as "PEEKSVILLE ROAD SUBDIVISION PRELIMINARY PLAT" dated May 11, 2021.

SECTION 2 – The owner may proceed with the preparation and submittal of the required construction documents as prescribed by the City's Zoning and Subdivision ordinance.

SECTION 3 – That this Ordinance shall be effective immediately.

SO ORDAINED this 6th day of July 2021.

ROBERT S. PRICE, Mayor

ATTEST:

MISTY SPURLING, City Clerk

(Seal)

APPROVED AS TO FORM:

City Attorney

EXHIBIT "A"

SITE PLAN
PERCIVAL ROAD SUBDIVISION

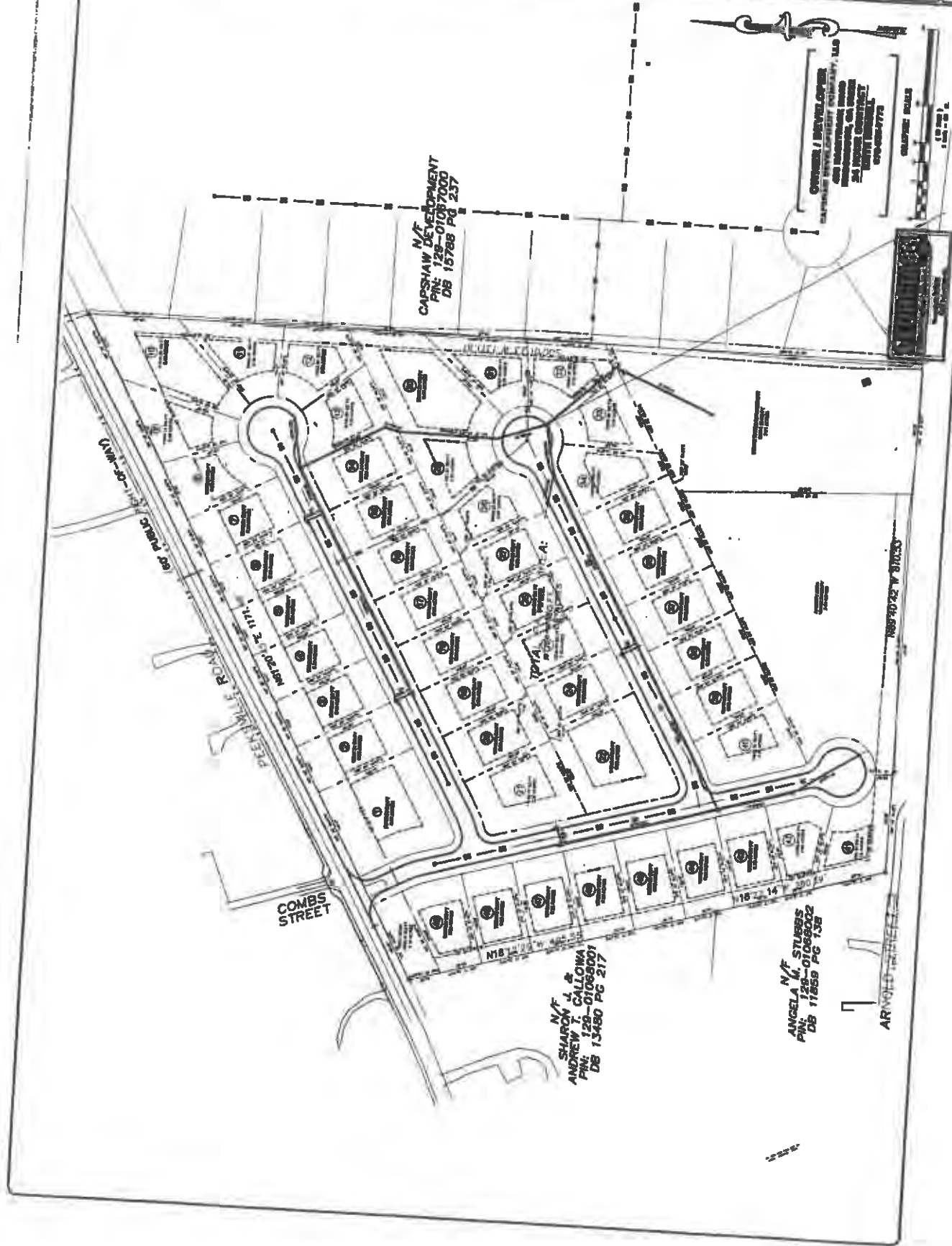
THIS DRAWING IS THE PROPERTY OF WHITLEY ENGINEERING INC. AND IS TO BE USED ONLY FOR THE PROJECT AND SITE SPECIFICALLY IDENTIFIED HEREON. ANY REUSE OR MODIFICATION OF THIS DRAWING WITHOUT THE WRITTEN CONSENT OF THE ENGINEER IS STRICTLY PROHIBITED.

DATE	
SCALE	
PROJECT NO.	
REVISIONS	
DESCRIPTION	

WHITLEY ENGINEERING INC.
 1701 WYOMING AVE
 SUITE 100
 WASHINGTON, GA 30226
 TEL: 770-946-0236
 FAX: 770-946-0236
 WWW.WHITLEY.COM



GREGORY A. WHITLEY
 LICENSE NO. 12156
 STATE OF GEORGIA
 PROFESSIONAL ENGINEER
 CIVIL
 EXPIRES 12/31/2024



N/E
CAPSHAW DEVELOPMENT
 P/N: 128-0107000
 DB 15788 PG 237

N/E
ANGELA M. STUBBS
 P/N: 128-0106902
 DB 11859 PG 138

N/E
SHARON J. & ANDREW T. CALLOWAY
 P/N: 128-0106901
 DB 13480 PG 217

PERCIVAL ROAD

DEER HOLE ROAD

COMBS STREET

PERCIVAL ROAD

ARNOLD DRIVE

OWNER / DEVELOPER
 CAPSHAW DEVELOPMENT, LLC
 128-0107000
 15788 PG 237
 800-444-7773

SCALE
 1" = 20' ±



GENERAL NOTES:

1. ALL NOTES SHALL BE READ IN CONJUNCTION WITH THE GENERAL NOTES AND SPECIFICATIONS FOR EROSION CONTROL MEASURES AND BEST MANAGEMENT PRACTICES FOR CONSTRUCTION SITES.
2. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE APPROPRIATE AGENCIES.
3. THE PROJECT WILL BE CONDUCTED IN ACCORDANCE WITH THE REQUIREMENTS OF THE NATIONAL WETLANDS ACT AND THE CLEAN WATER ACT.
4. THE CONTRACTOR SHALL MAINTAIN ACCESS TO ALL ADJACENT PROPERTIES AT ALL TIMES.
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19. THE CONTRACTOR SHALL MAINTAIN ACCESS TO ALL ADJACENT PROPERTIES AT ALL TIMES.
20. THE CONTRACTOR SHALL MAINTAIN ACCESS TO ALL ADJACENT PROPERTIES AT ALL TIMES.

TOTAL SITE AREA = 22,405 AC.
DISTURBANCE AREA = 16.58 AC.

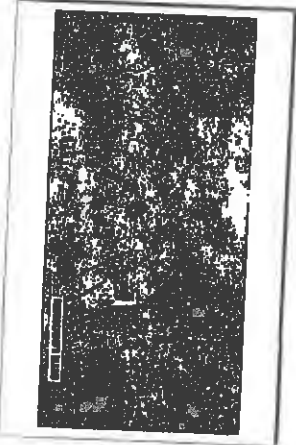
FLOOD NOTE:
 AS SHOWN ON FLOOD INSURANCE RATE MAP OF HENRY COUNTY, GEORGIA
 THIS PROPOSED SITE IS LOCATED WITHIN A FLOOD HAZARD ZONE

STATE WATER NOTE:
 THERE ARE NO STATE WATERS LOCATED ON-SITE.

WETLANDS NOTE:
 BASED UPON FIELD INSPECTION AND OBSERVATIONS OF THE PROPERTY,
 AND AS NOTED BY THE NATIONAL WETLANDS INVENTORY MAPS,
 PRODUCED BY THE U.S. DEPARTMENT OF THE INTERIOR, FISH AND
 WILDLIFE SERVICE, THERE ARE NO WETLANDS CONTAINED WITHIN THE
 PROJECT LIMITS OF THIS SITE.

CIVIL CONSTRUCTION PLANS FOR PEEKSVILLE ROAD SUBDIVISION

PEEKSVILLE ROAD
 CITY OF LOCLUST GROVE, GA 30248
 HENRY COUNTY



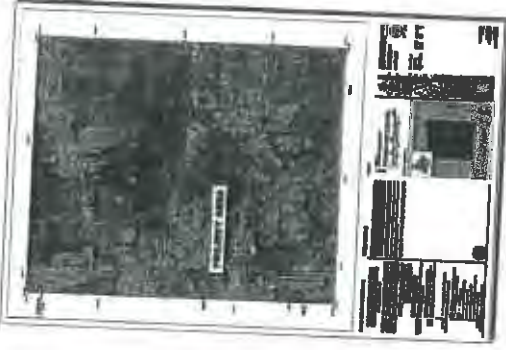
--VICINITY MAP--
 NTS

SHEET #	SHEET TITLE
C1.0	COVER
C2.0	EXISTING CONDITIONS
C3.0	DEVELOPMENT PLAN
C4.0	SITE PLAN
C5.0	GRADING PLAN
C6.0-C6.8	ROAD PLAN & PROFILES
C7.0-C7.2	OVERALL UTILITY PLANS
C8.0	CONSTRUCTION DETAILS
C9.0	CONSTRUCTION DETAILS

SHEET #	SHEET TITLE
C10.0	INITIAL EROSION CONTROL PLAN
C11.0	INTERMEDIATE EROSION CONTROL PLAN
C12.0	FINAL EROSION CONTROL PLAN
C13.0-C14.0	EROSION & SEDIMENTATION CONTROL DETAILS

CAUTION:
 THE CONTRACTOR SHALL VERIFY THE LOCATION OF ALL UTILITIES.
 UTILITIES SHALL BE MAINTAINED AT ALL TIMES.
 UTILITIES SHALL BE MAINTAINED AT ALL TIMES.
 UTILITIES SHALL BE MAINTAINED AT ALL TIMES.

NOTE:
 CONTRACTOR SHALL VERIFY THE LOCATION OF ALL UTILITIES.
 UTILITIES SHALL BE MAINTAINED AT ALL TIMES.
 UTILITIES SHALL BE MAINTAINED AT ALL TIMES.
 UTILITIES SHALL BE MAINTAINED AT ALL TIMES.



--FEMA FIRM MAP--
 NTS

OWNER / DRIVE OFFER:
 SOUTHERN WETLANDS CONSULTANTS, LLC
 2400 W. BROADWAY, SUITE 200
 ATLANTA, GA 30333
 TEL: 404-525-1111
 FAX: 404-525-1112



<p>ENGINEERING INC. DESIGN: HENRY PROJECT: PEEKSVILLE ROAD SUBDIVISION TEL: 770-946-0825 330 C. MAIN STREET N. HAWKINSVILLE, GA 30226</p>	<p>PEEKSVILLE ROAD SUBDIVISION COVER SHEET DATE: 11/11/11 SCALE: AS SHOWN DRAWN BY: J. W. WILSON CHECKED BY: J. W. WILSON</p>	<p>REGISTERED PROFESSIONAL ENGINEER STATE OF GEORGIA LICENSE NO. 11111 J. W. WILSON</p>	<p>NO. 11111 J. W. WILSON</p>
--	--	--	--

PERVILLE ROAD SUBDIVISION
EXISTING CONDITIONS

CITY OF LIBERTY GOVERNMENT COUNTY, GA
SCALE: 1" = 40'
DATE: 11/15/01

REVISED	DESCRIPTION

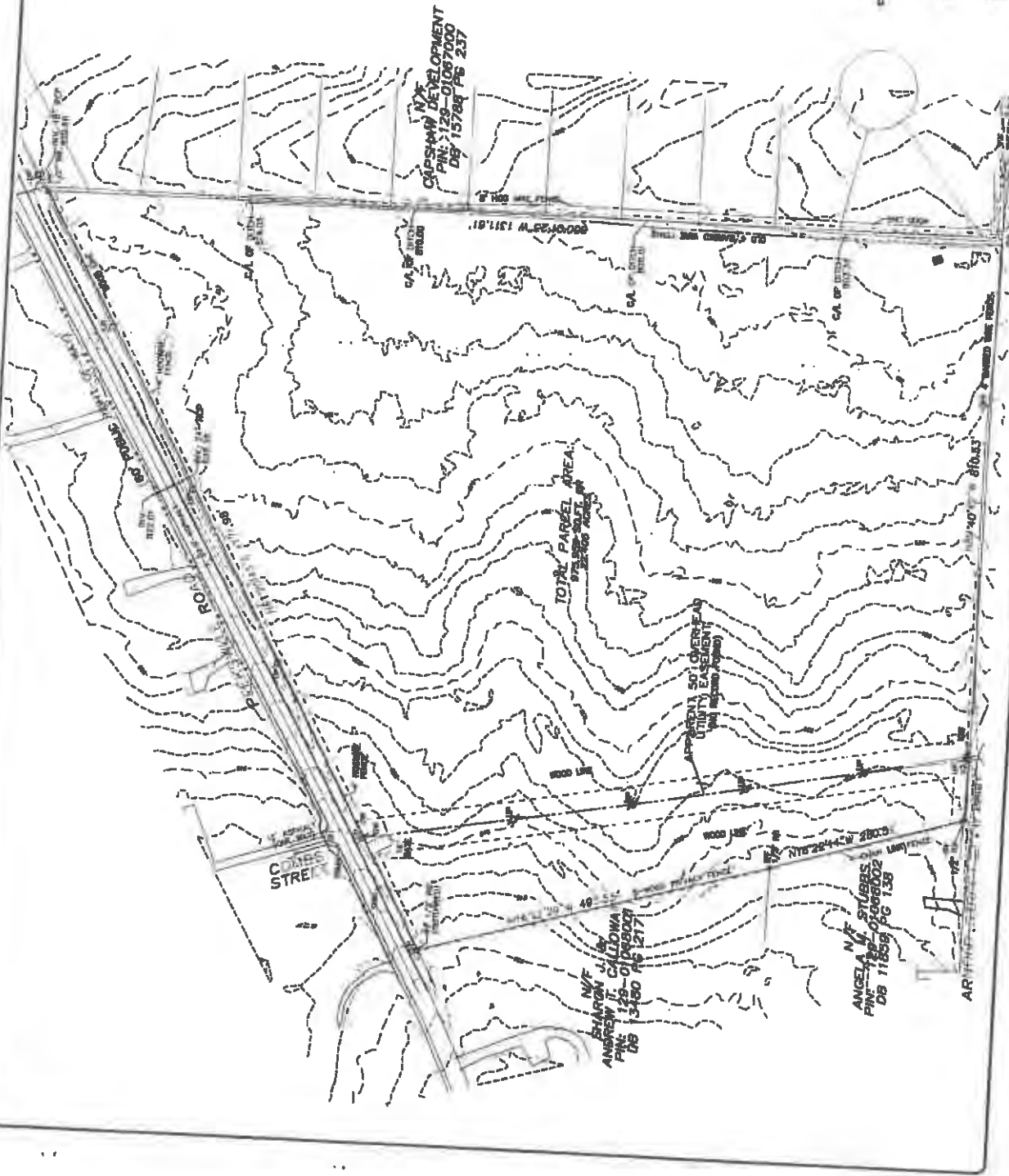
WHITLEY
ENGINEERING INC.
DESIGN ROOM PROJECT
LIBERTY
TEL: (770) 946-0256
E. MAIN STREET N.
WATFON, GA 30226

SEAL
MAY 12, 2001
LIBERTY GOVERNMENT COUNTY, GA
LIBERTY
LIBERTY GOVERNMENT COUNTY, GA
LIBERTY



OWNER / DEVELOPER
CAPITOL HILL DEVELOPMENT COMPANY, LLC
1000 WOODBRIDGE DRIVE
MARIETTA, GA 30067
30 DAY CONTRACT
LIBERTY, MISSISSIPPI
678-882-7778

GRAPHIC SCALE
1" = 40'



NX
CROSSWAY DEVELOPMENT
PIN: 123-01067000
DB: 15784 PG 237

EMAPEN
ANDREW J. CHILLOWA
PIN: 123-01067000
DB: 15784 PG 237

ANGEL M. STUBBS
PIN: 123-01067000
DB: 11859 PG 136

DEMOLITION PLAN

THIS PLAN AND THE PROPERTY OF THE COUNTY OF LOS ANGELES, CALIFORNIA, ARE HEREBY OFFERED TO THE PUBLIC FOR THE PURPOSE OF OBTAINING THE BEST CONTRACT. THE COUNTY OF LOS ANGELES, CALIFORNIA, IS NOT RESPONSIBLE FOR THE ACCURACY OF THE INFORMATION CONTAINED HEREIN.

REV. DATE	DESCRIPTION

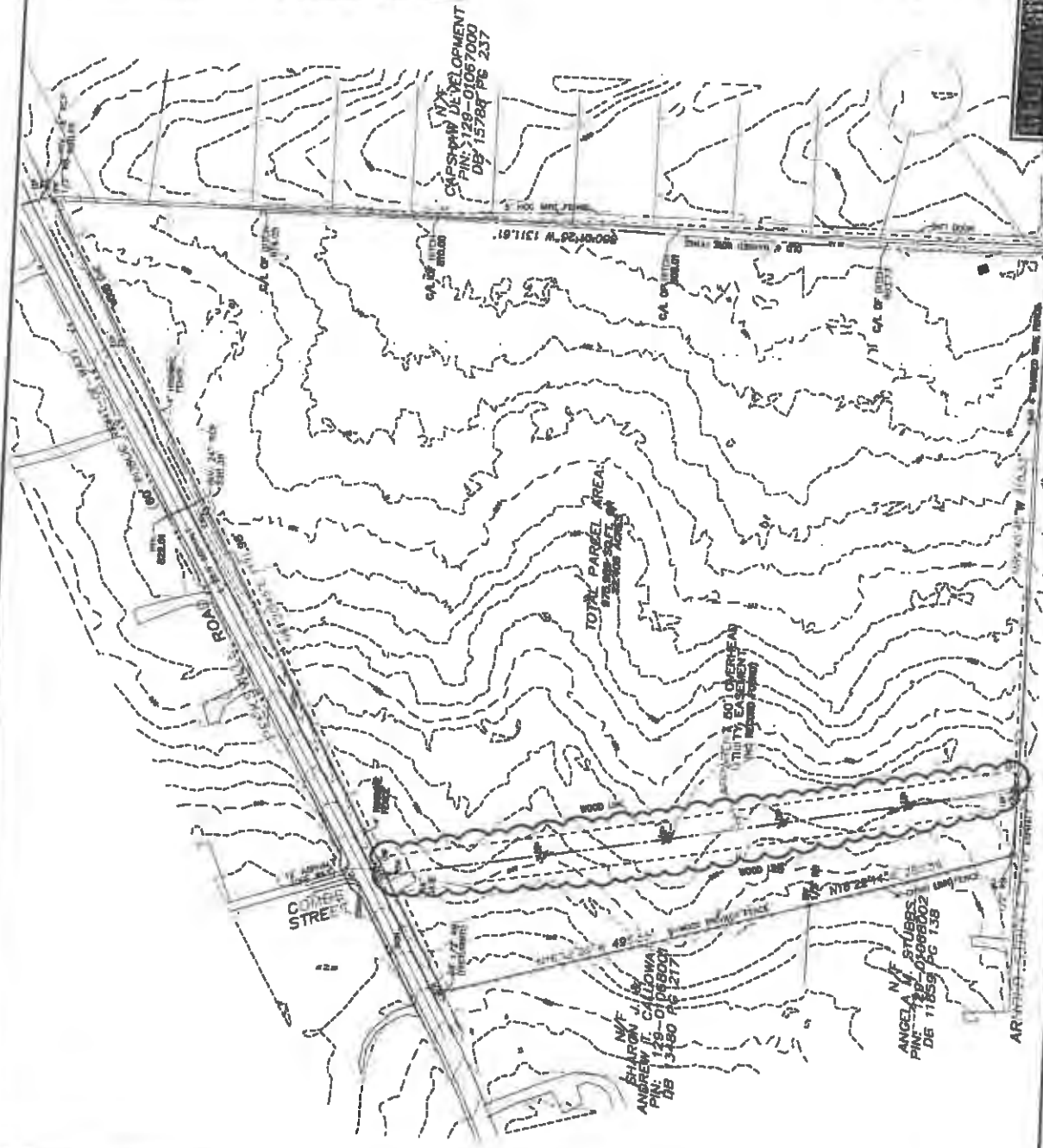
WHITLEY ENGINEERING INC.
 DESIGN ENGINEER
 1701 E. MAIN STREET, SUITE 200
 HAWAII, CA 90225



MADE IN THE U.S.A.
 PRINTED AND PUBLISHED BY
 A PROFESSIONAL ENGINEER
 LICENSED UNDER THE
 PROFESSIONAL ENGINEERING
 ACT OF 1937, CHAPTER 1039,
 STATUTES OF CALIFORNIA.

DISCLAIMER (NOTED)
 THIS PLAN AND THE PROPERTY OF THE COUNTY OF LOS ANGELES, CALIFORNIA, ARE HEREBY OFFERED TO THE PUBLIC FOR THE PURPOSE OF OBTAINING THE BEST CONTRACT. THE COUNTY OF LOS ANGELES, CALIFORNIA, IS NOT RESPONSIBLE FOR THE ACCURACY OF THE INFORMATION CONTAINED HEREIN.

OWNER / DEVELOPER
 CAROLINA INVESTMENT COMPANY, LLC
 10000 WILLOW BROOK DRIVE
 SUITE 100
 WILLOW BROOK, CA 94597
 925-938-7770



CAPSOUND DEVELOPMENT
 PIN: 1125-01067000
 DE: 15784 PG 237

MT
 SHARON J. IS
 ANDREW CALLOWAY
 PIN: 1125-01067000
 DE: 1380 PG 217

ANGELA N. STUBBS
 PIN: 1125-01067000
 DE: 11859 PG 138

SITE PLAN
PARKVILLE ROAD SUBDIVISION

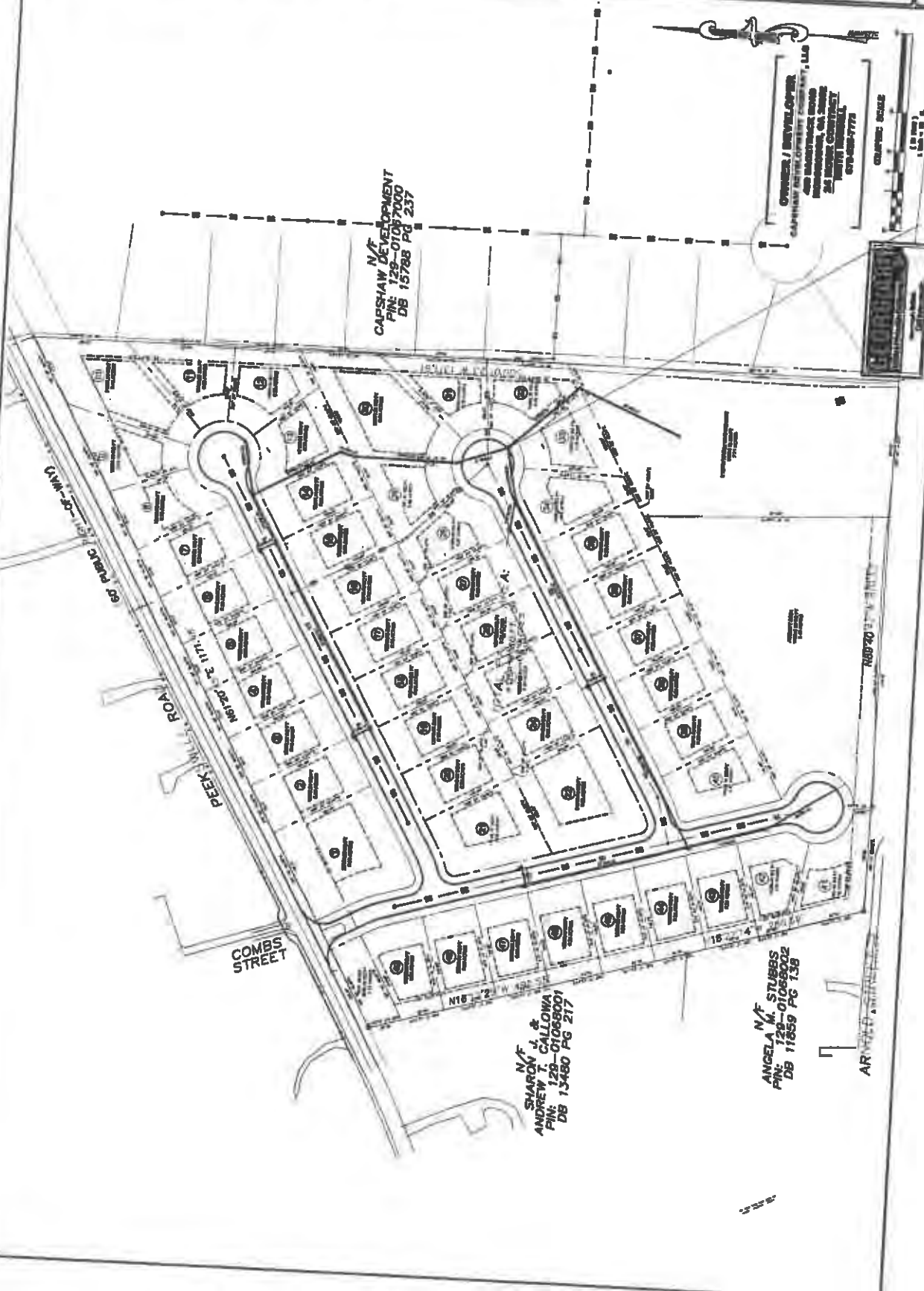
THIS DRAWING IS THE PROPERTY OF WHITLEY ENGINEERING, INC. AND MAY BE REPRODUCED OR TRANSMITTED IN ANY FORM OR BY ANY MEANS WITHOUT THE WRITTEN PERMISSION OF THE DESIGN PROFESSIONAL.

REV.	DATE	DESCRIPTION

WHITLEY ENGINEERING INC.
DESIGN PROFESSIONAL
124 MAIN STREET N.
MARIETTA, GA 30060



SCALE: 1" = 40'
DATE: 08/11/11
PROJECT: PARKVILLE ROAD SUBDIVISION



N/F
CAPSHAW DEVELOPMENT
PIN: 129-01047000
DB 15788 PG 237

N/F
SHARON L &
ANDREW T CALOWA
PIN: 129-01669001
DB 13480 PG 217

N/F
ANGELA M STUBBS
PIN: 129-01658002
DB 11659 PG 138

OWNER / DEVELOPER:
CAPSHAW DEVELOPMENT, LLC
2400 WOODBRIDGE DRIVE
MARIETTA, GA 30066
2400 WOODBRIDGE DRIVE
MARIETTA, GA 30066
678-988-7778



PEEKSVILLE ROAD SUBDIVISION
GRADING PLAN

CITY OF ALABAMA DEPARTMENT OF HIGHWAYS, 600
SCALE: 1"=40'
DATE: 11/11/09

REV	DATE	DESCRIPTION

WHITLEY
ENGINEERING INC.
DESIGN NO: 0909
PROJECT NO: 0909
TEL: 770-946-0256
E. MAIN STREET N.
HARTON, GA 30228



STATE OF ALABAMA
CIVIL ENGINEER
NO. 11212
EXPIRES 12/31/10

GRADING AND CONSTRUCTION

1. ALL EXISTING AND PROPOSED GRADING SHALL BE IN ACCORDANCE WITH THE CITY OF ALABAMA DEPARTMENT OF HIGHWAYS (ADOT) STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION, LATEST EDITION, AND THE CITY OF ALABAMA DEPARTMENT OF HIGHWAYS (ADOT) STANDARD SPECIFICATIONS FOR UTILITIES CONSTRUCTION, LATEST EDITION.

2. ALL EXISTING AND PROPOSED GRADING SHALL BE IN ACCORDANCE WITH THE CITY OF ALABAMA DEPARTMENT OF HIGHWAYS (ADOT) STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION, LATEST EDITION, AND THE CITY OF ALABAMA DEPARTMENT OF HIGHWAYS (ADOT) STANDARD SPECIFICATIONS FOR UTILITIES CONSTRUCTION, LATEST EDITION.

3. ALL EXISTING AND PROPOSED GRADING SHALL BE IN ACCORDANCE WITH THE CITY OF ALABAMA DEPARTMENT OF HIGHWAYS (ADOT) STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION, LATEST EDITION, AND THE CITY OF ALABAMA DEPARTMENT OF HIGHWAYS (ADOT) STANDARD SPECIFICATIONS FOR UTILITIES CONSTRUCTION, LATEST EDITION.

4. ALL EXISTING AND PROPOSED GRADING SHALL BE IN ACCORDANCE WITH THE CITY OF ALABAMA DEPARTMENT OF HIGHWAYS (ADOT) STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION, LATEST EDITION, AND THE CITY OF ALABAMA DEPARTMENT OF HIGHWAYS (ADOT) STANDARD SPECIFICATIONS FOR UTILITIES CONSTRUCTION, LATEST EDITION.

5. ALL EXISTING AND PROPOSED GRADING SHALL BE IN ACCORDANCE WITH THE CITY OF ALABAMA DEPARTMENT OF HIGHWAYS (ADOT) STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION, LATEST EDITION, AND THE CITY OF ALABAMA DEPARTMENT OF HIGHWAYS (ADOT) STANDARD SPECIFICATIONS FOR UTILITIES CONSTRUCTION, LATEST EDITION.

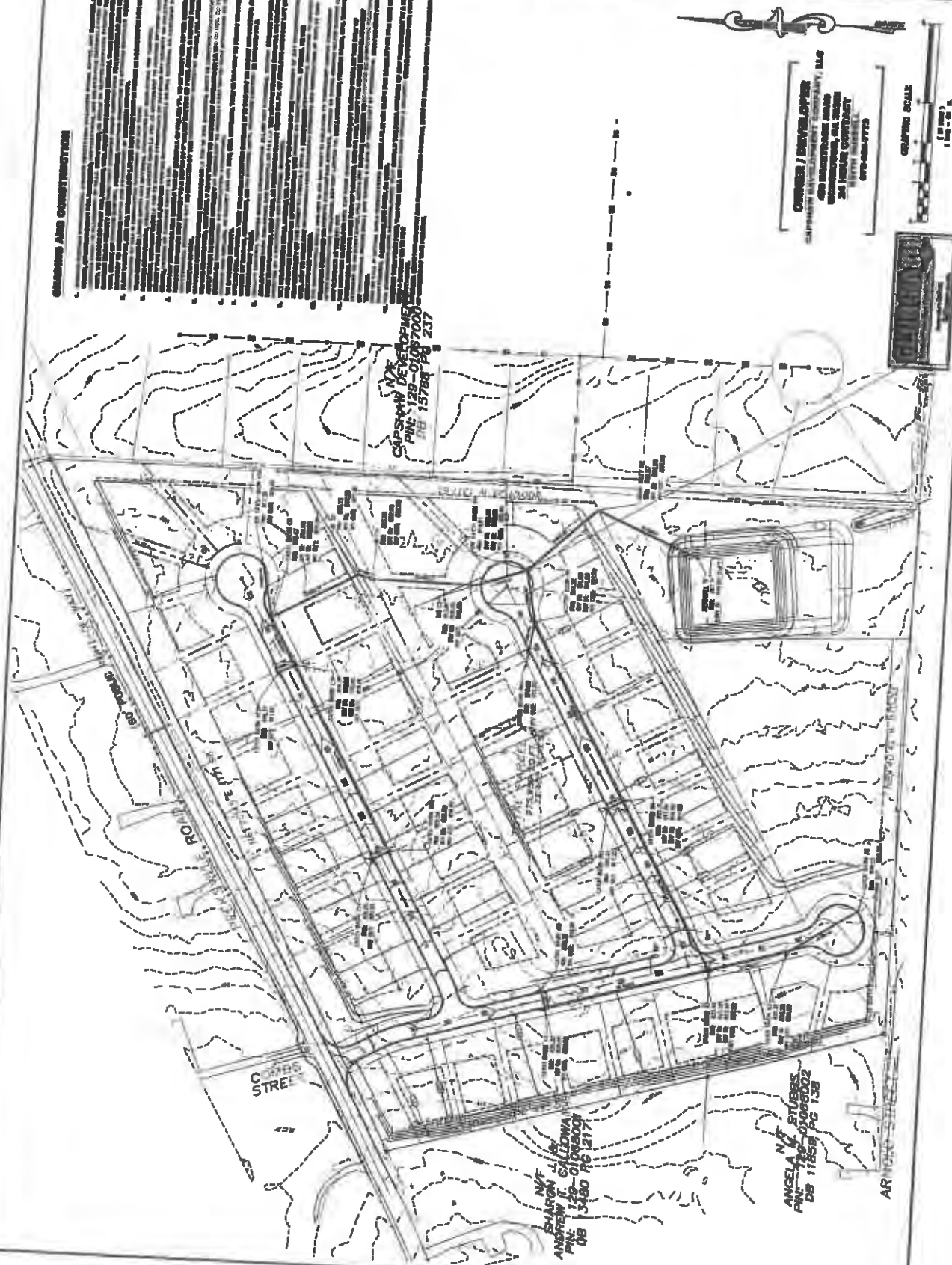
6. ALL EXISTING AND PROPOSED GRADING SHALL BE IN ACCORDANCE WITH THE CITY OF ALABAMA DEPARTMENT OF HIGHWAYS (ADOT) STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION, LATEST EDITION, AND THE CITY OF ALABAMA DEPARTMENT OF HIGHWAYS (ADOT) STANDARD SPECIFICATIONS FOR UTILITIES CONSTRUCTION, LATEST EDITION.

7. ALL EXISTING AND PROPOSED GRADING SHALL BE IN ACCORDANCE WITH THE CITY OF ALABAMA DEPARTMENT OF HIGHWAYS (ADOT) STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION, LATEST EDITION, AND THE CITY OF ALABAMA DEPARTMENT OF HIGHWAYS (ADOT) STANDARD SPECIFICATIONS FOR UTILITIES CONSTRUCTION, LATEST EDITION.

8. ALL EXISTING AND PROPOSED GRADING SHALL BE IN ACCORDANCE WITH THE CITY OF ALABAMA DEPARTMENT OF HIGHWAYS (ADOT) STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION, LATEST EDITION, AND THE CITY OF ALABAMA DEPARTMENT OF HIGHWAYS (ADOT) STANDARD SPECIFICATIONS FOR UTILITIES CONSTRUCTION, LATEST EDITION.

9. ALL EXISTING AND PROPOSED GRADING SHALL BE IN ACCORDANCE WITH THE CITY OF ALABAMA DEPARTMENT OF HIGHWAYS (ADOT) STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION, LATEST EDITION, AND THE CITY OF ALABAMA DEPARTMENT OF HIGHWAYS (ADOT) STANDARD SPECIFICATIONS FOR UTILITIES CONSTRUCTION, LATEST EDITION.

10. ALL EXISTING AND PROPOSED GRADING SHALL BE IN ACCORDANCE WITH THE CITY OF ALABAMA DEPARTMENT OF HIGHWAYS (ADOT) STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION, LATEST EDITION, AND THE CITY OF ALABAMA DEPARTMENT OF HIGHWAYS (ADOT) STANDARD SPECIFICATIONS FOR UTILITIES CONSTRUCTION, LATEST EDITION.



ANGELA K. STUBBS
P.E.
11/11/09 PG 138

ANGELA K. STUBBS
P.E.
11/11/09 PG 138

ANGELA K. STUBBS
P.E.
11/11/09 PG 138



PERCIVAL ROAD SUBDIVISION
ENTRANCE ROAD PLAN & PROFILE

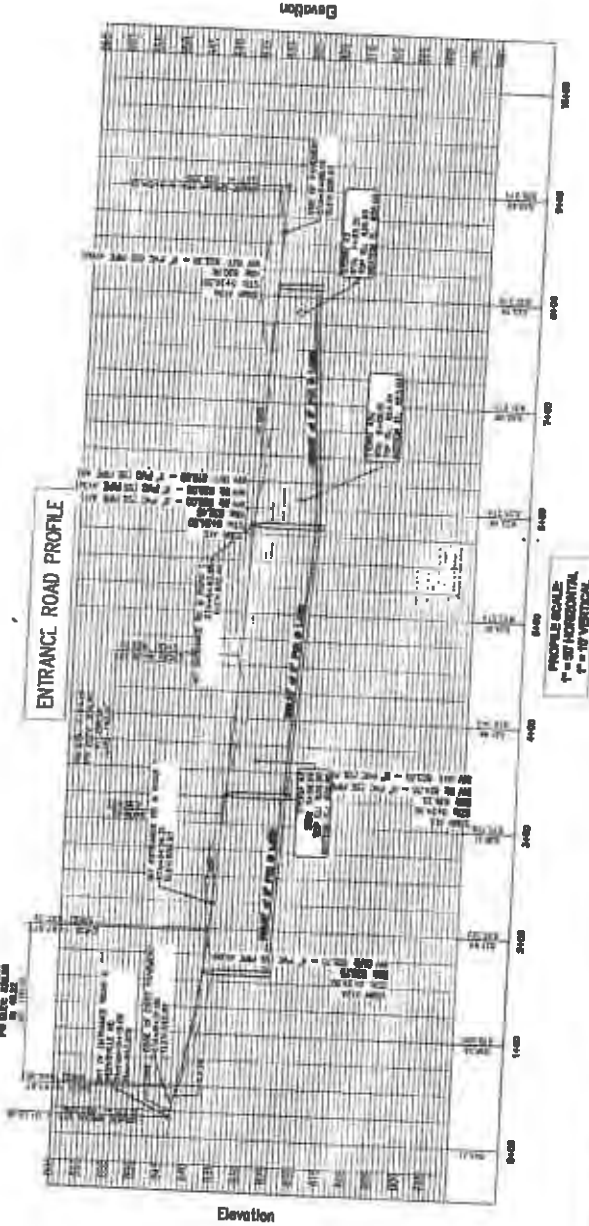
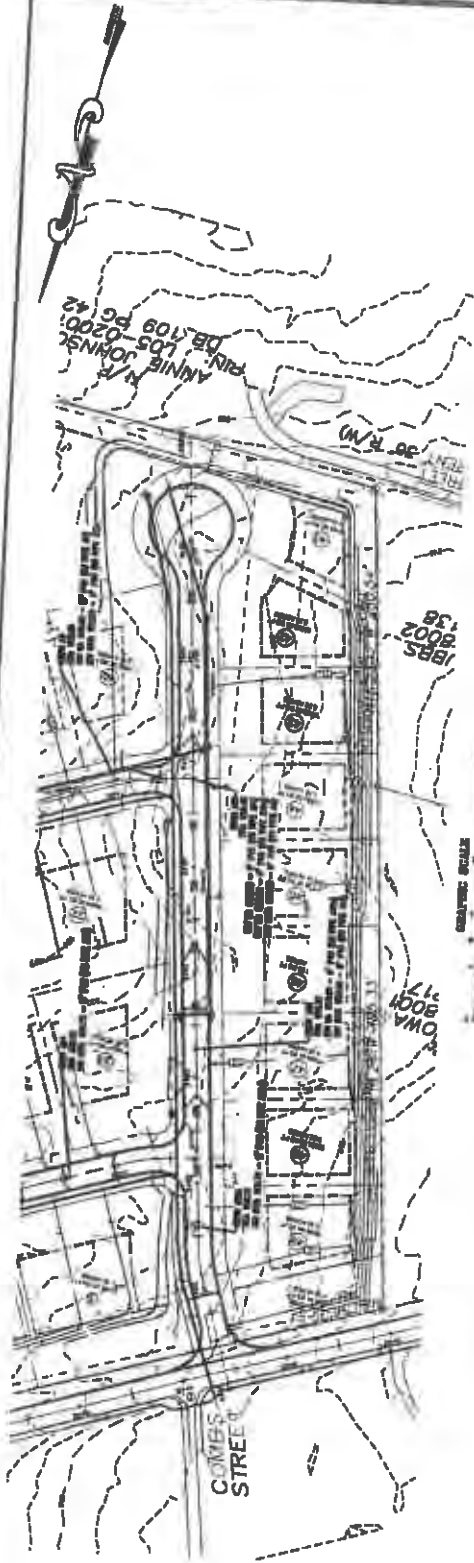
CITY OF ALBERTA GOVERNMENT COUNTY, GA
DATE: 11/15/00
PROJECT: ENTRANCE ROAD
DRAWN BY: J. W. WILSON
CHECKED BY: J. W. WILSON
SCALE: AS SHOWN
THIS DRAWING IS THE PROPERTY OF THE CITY OF ALBERTA GOVERNMENT COUNTY, GA AND SHALL REMAIN THE PROPERTY OF THE COUNTY OF ALBERTA GOVERNMENT COUNTY, GA.

REV.	DATE	DESCRIPTION

WHITLEY
ENGINEERING INC.
PROJECT: ENTRANCE ROAD
DESIGN: J. W. WILSON
1711 770916-0256 30
2 MAIN STREET N.
HAYTOWN, GA 30220



WHITLEY ENGINEERING INC.
1711 770916-0256 30
2 MAIN STREET N.
HAYTOWN, GA 30220



PERKINSVILLE ROAD SUBDIVISION
ROAD 1 PLAN & PROFILE

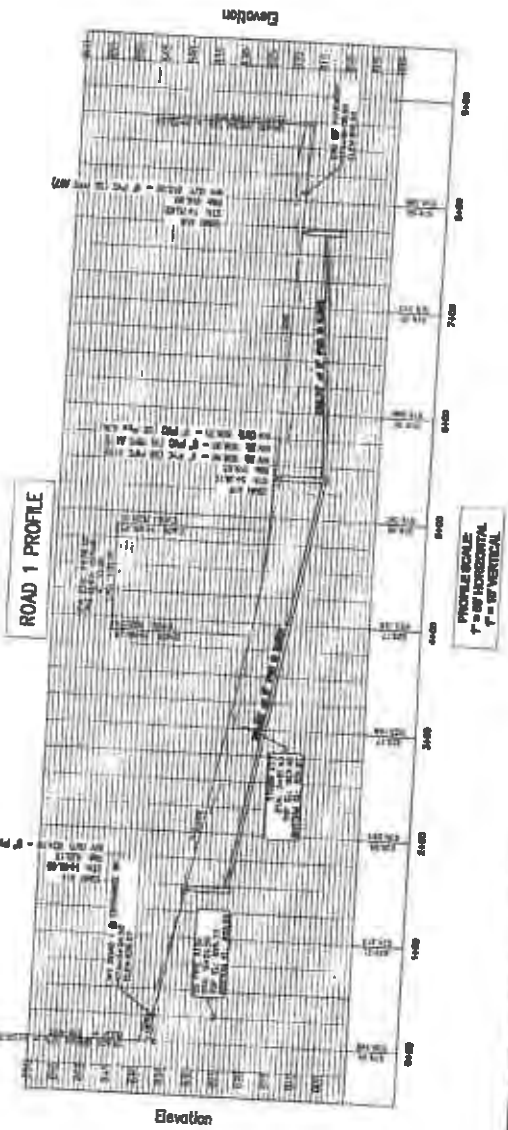
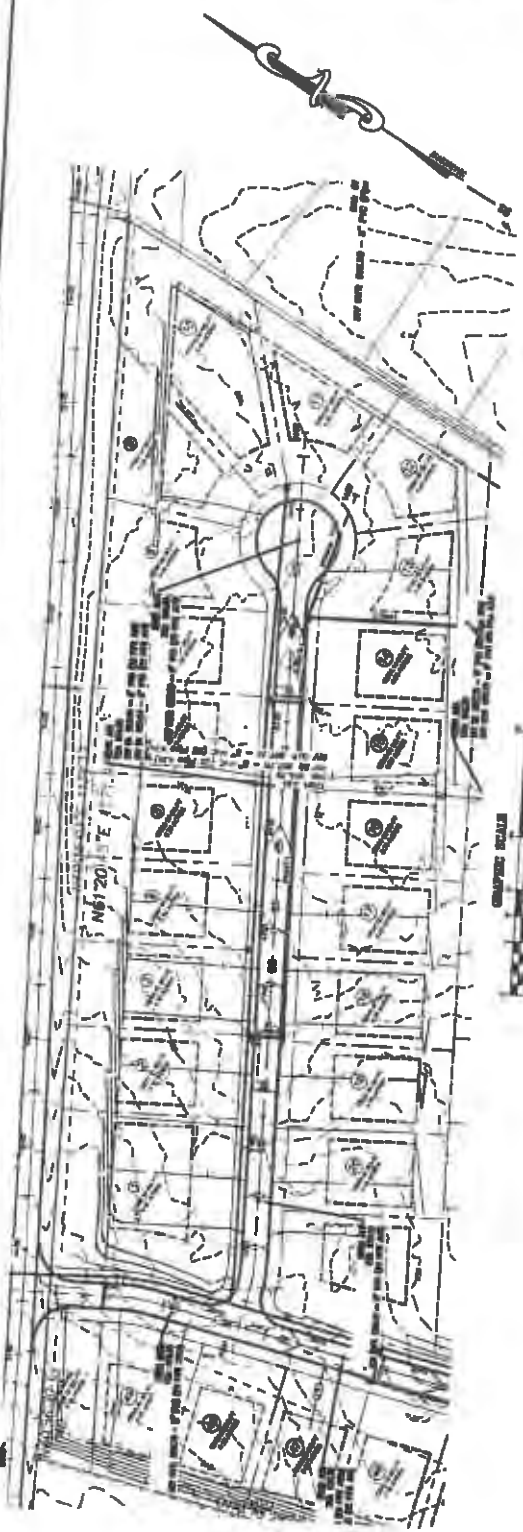
CITY OF LAURENS GOVERNMENT ENTITY, GA
PROJECT NO. 177094C-0246 30
DATE: 11/11/11
SCALE: AS SHOWN
SHEET NO. 1 OF 1

REV.	DATE	DESCRIPTION

WHITLEY
ENGINEERING INC.
PROJECT NO. 177094C-0246 30
C. LAMM STREET N.
HAMPTON, GA 30226



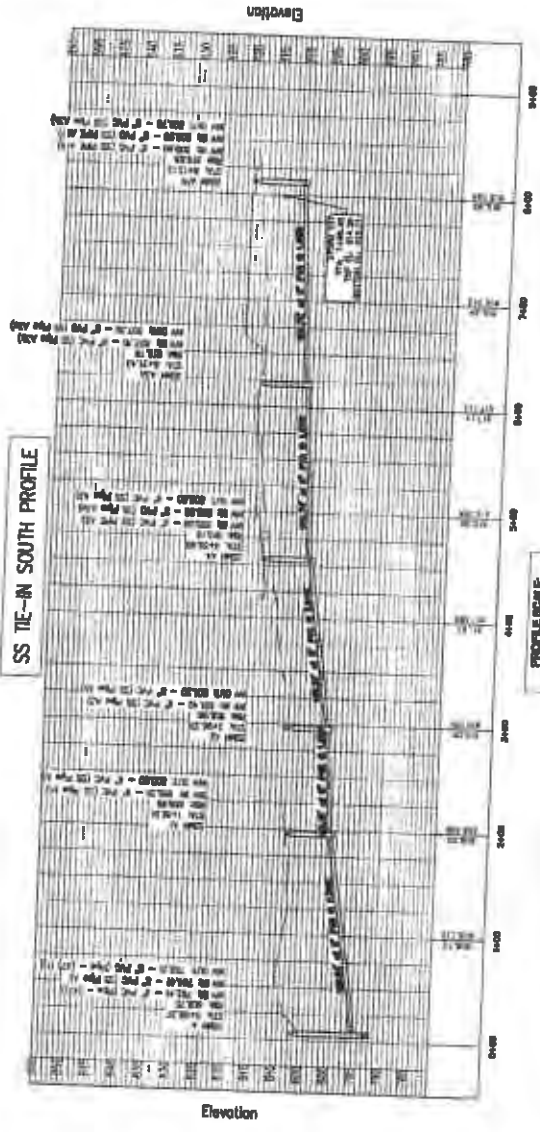
STATE OF GEORGIA
CIVIL ENGINEER
NO. 10178
WHITLEY ENGINEERING INC.
10178



ROAD 1 PROFILE

PROFILE SCALE:
1" = 10' VERTICAL
1" = 40' HORIZONTAL

	WHITLEY ENGINEERING INC. DESIGN WORK PROJECT MANAGEMENT 2 MAIN STREET N. HAMPTON, GA 30226 TEL: (770) 946-0256 30	<input type="checkbox"/> Not Required for Construction	SAVANNAH ROAD SUBDIVISION SANTARY SEMR OUTFALL PLAN & PROFILE CITY OF LACROSSE GOVERNMENT COUNTY, GA SCALE: AS SHOWN DATE: 02/20/14 DRAWN BY: [Name]
		REV. DATE: _____ DESCRIPTION: _____	



Sheet C6-3

**PERCYVILLE ROAD SUBDIVISION
STORM A OUTFALL PLAN & PROFILE**

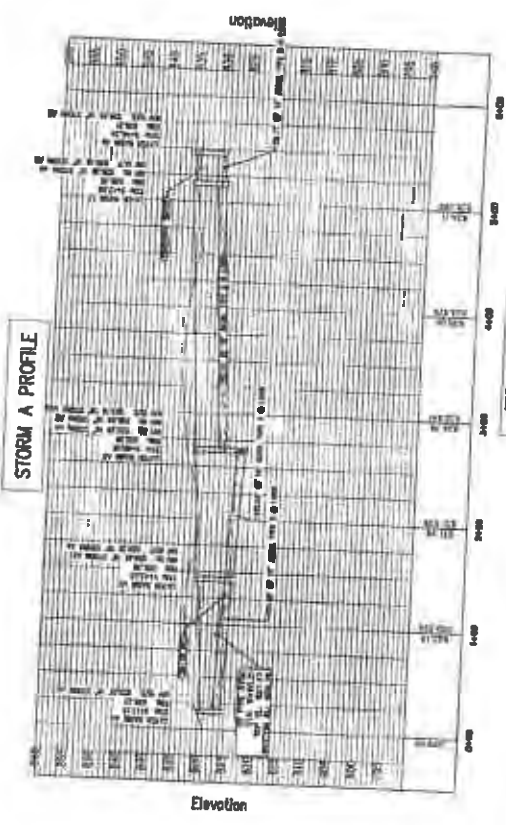
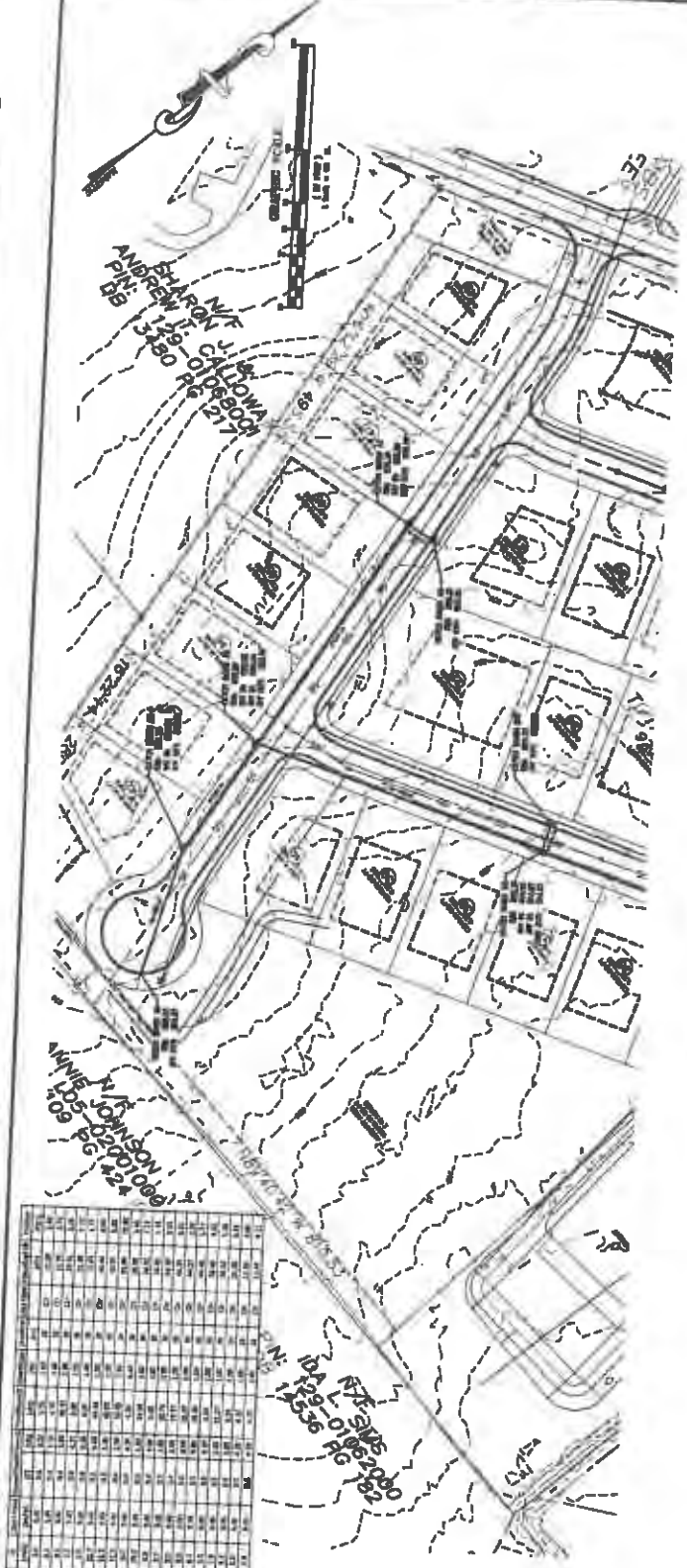
THE CITY OF LEONARD GOVERNMENT COUNTY, GA
 PLANNING DEPT.
 DATE: _____
 SCALE: _____
 SHEET NO. _____

REV.	DATE	DESCRIPTION

**WHITLEY
ENGINEERING INC.**
 DESIGN ENGINEER
 PROJECT MANAGER
 1715 W. MAIN STREET N.
 WASHINGTON, GA 30226
 TEL: (770) 946-0226



THIS PLAN IS THE PROPERTY OF WHITLEY ENGINEERING INC. AND MAY NOT BE REPRODUCED OR TRANSMITTED IN ANY FORM OR BY ANY MEANS WITHOUT THE WRITTEN PERMISSION OF THE DESIGN PROFESSIONAL.
 LEONARD COUNTY GOVERNMENT COUNTY, GA
 PLANNING DEPT.
 DATE: _____
 SCALE: _____
 SHEET NO. _____



STORM A PROFILE

PROFILE SCALE
 1" = 4' HORIZONTAL
 1" = 10' VERTICAL

STATION	PIPE SIZE	INVERT ELEVATION	MANHOLE ELEVATION	MANHOLE NUMBER
0+00	18"	4150.00	4150.00	MH 1
0+10	18"	4150.00	4150.00	MH 2
0+20	18"	4150.00	4150.00	MH 3
0+30	18"	4150.00	4150.00	MH 4
0+40	18"	4150.00	4150.00	MH 5
0+50	18"	4150.00	4150.00	MH 6
0+60	18"	4150.00	4150.00	MH 7
0+70	18"	4150.00	4150.00	MH 8
0+80	18"	4150.00	4150.00	MH 9
0+90	18"	4150.00	4150.00	MH 10
0+100	18"	4150.00	4150.00	MH 11
0+110	18"	4150.00	4150.00	MH 12
0+120	18"	4150.00	4150.00	MH 13
0+130	18"	4150.00	4150.00	MH 14
0+140	18"	4150.00	4150.00	MH 15
0+150	18"	4150.00	4150.00	MH 16
0+160	18"	4150.00	4150.00	MH 17
0+170	18"	4150.00	4150.00	MH 18
0+180	18"	4150.00	4150.00	MH 19
0+190	18"	4150.00	4150.00	MH 20
0+200	18"	4150.00	4150.00	MH 21
0+210	18"	4150.00	4150.00	MH 22
0+220	18"	4150.00	4150.00	MH 23
0+230	18"	4150.00	4150.00	MH 24
0+240	18"	4150.00	4150.00	MH 25
0+250	18"	4150.00	4150.00	MH 26
0+260	18"	4150.00	4150.00	MH 27
0+270	18"	4150.00	4150.00	MH 28
0+280	18"	4150.00	4150.00	MH 29
0+290	18"	4150.00	4150.00	MH 30
0+300	18"	4150.00	4150.00	MH 31
0+310	18"	4150.00	4150.00	MH 32
0+320	18"	4150.00	4150.00	MH 33
0+330	18"	4150.00	4150.00	MH 34
0+340	18"	4150.00	4150.00	MH 35
0+350	18"	4150.00	4150.00	MH 36
0+360	18"	4150.00	4150.00	MH 37
0+370	18"	4150.00	4150.00	MH 38
0+380	18"	4150.00	4150.00	MH 39
0+390	18"	4150.00	4150.00	MH 40
0+400	18"	4150.00	4150.00	MH 41

PERCYVILLE ROAD
 P.I.N. 17556 PG 182

**PERDUEVILLE ROAD SUBDIVISION
STORM B PLAN & PROFILE**

THIS DRAWING AND THE WORK HEREON SHALL BE THE PROPERTY OF THE ENGINEER. IT IS TO BE USED ONLY FOR THE PROJECT AND SITE SPECIFICALLY IDENTIFIED HEREON. ANY OTHER USE WITHOUT THE WRITTEN CONSENT OF THE ENGINEER IS PROHIBITED.

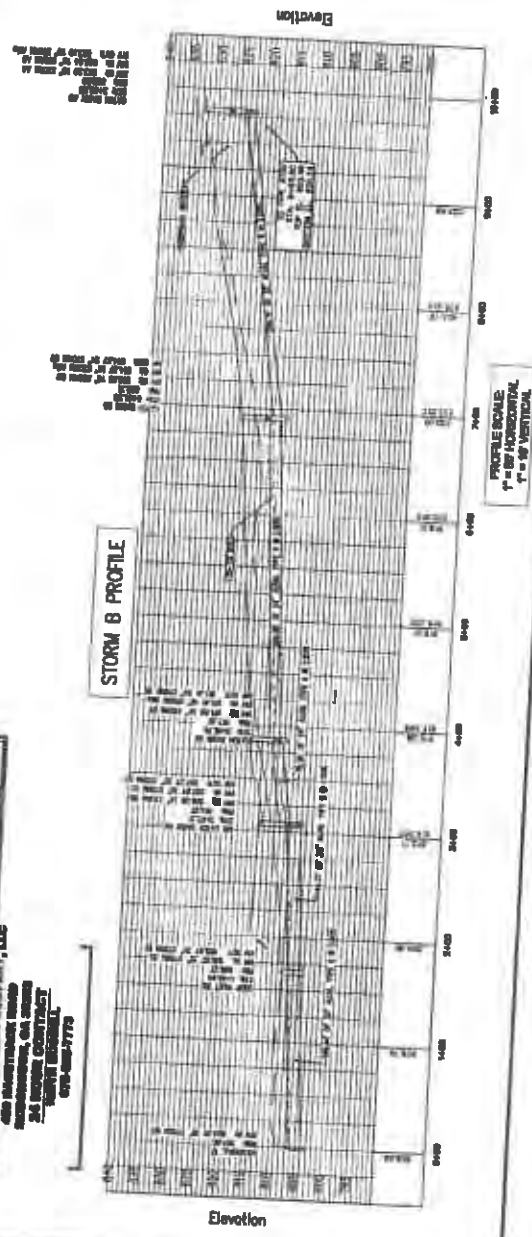
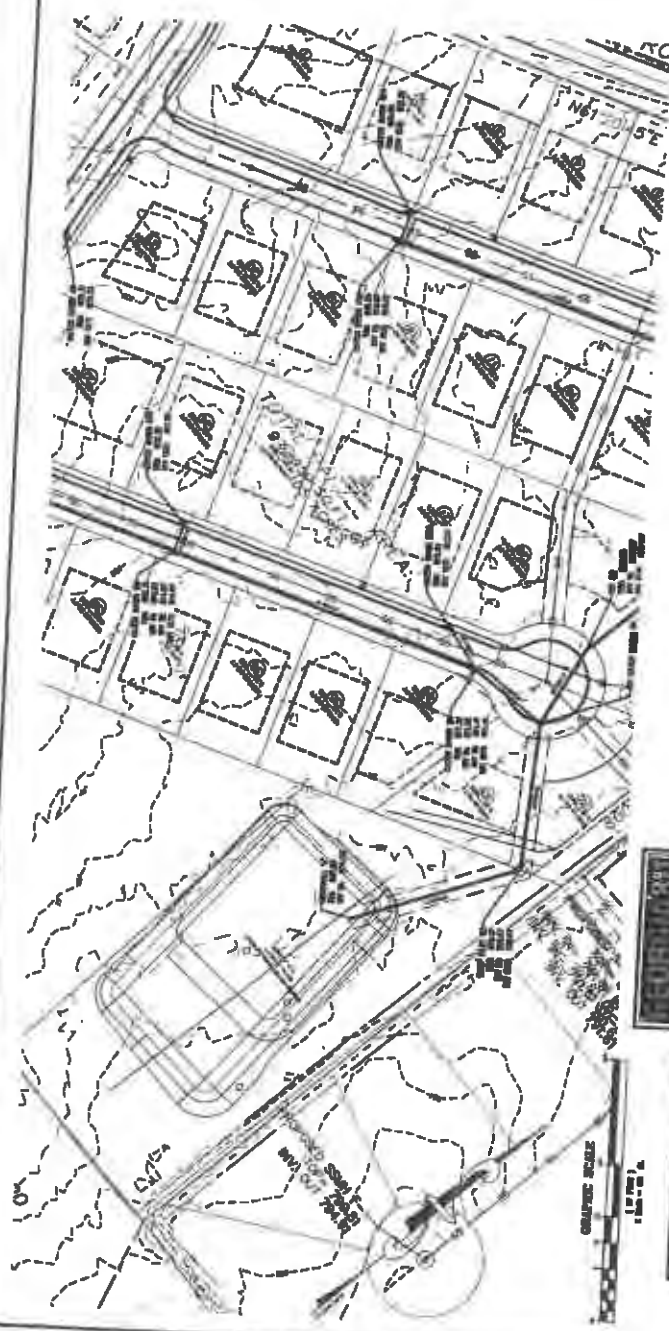
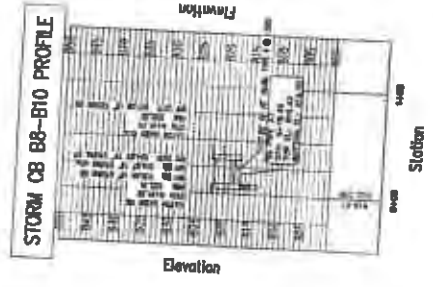
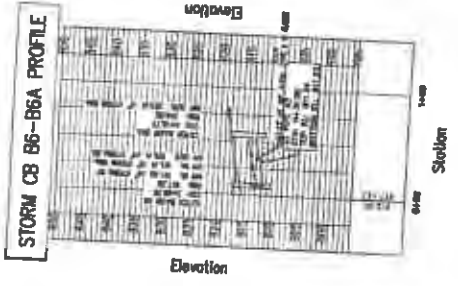
CITY OF LOUISIANA PARISH GOVERNMENT COUNTY, LA
SCALE: AS SHOWN
DATE: 11/11/11
JOB NUMBER: 11-0000

REV	DATE	DESCRIPTION

**WHITLEY
ENGINEERING INC.**
DESIGN W/CS PROJECT MANAGER
TEL: 770-946-0256 30
P.O. BOX 1000
HAWORTH, GA 30228



SEAL OF THE PROFESSIONAL ENGINEER
STATE OF LOUISIANA
NO. 11-0000
DATE: 11/11/11



C. WHITLEY & ASSOCIATES, LLC
ENGINEERING / DEVELOPMENT
400 HAWORTH BLVD
HAWORTH, GA 30228
24 HOUR CONTRACT
SERVISE SERVICE
678-962-1770

**PERKINSVILLE ROAD SUBDIVISION
STORM C PLAN & PROFILE**

LANDLORD 120
CITY OF LAURENS GEORGIA COUNTY, GA
DATE: 08/11/10
PROJECT: PERKINSVILLE ROAD SUBDIVISION
SHEET: 66.6

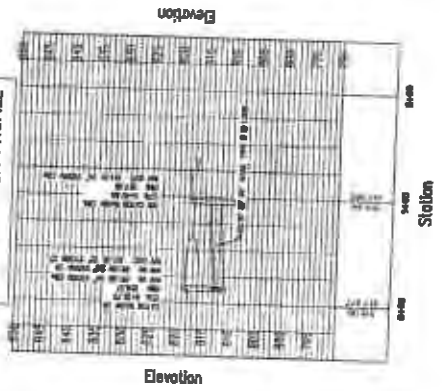
REV. DATE:	DESCRIPTION:

**WHITLEY
ENGINEERING INC.**
DESIGN WORK PROJECT
MANAGEMENT
TEL: 070946-0256 36
E MAIN STREET N.
HAMILTON, GA 30220

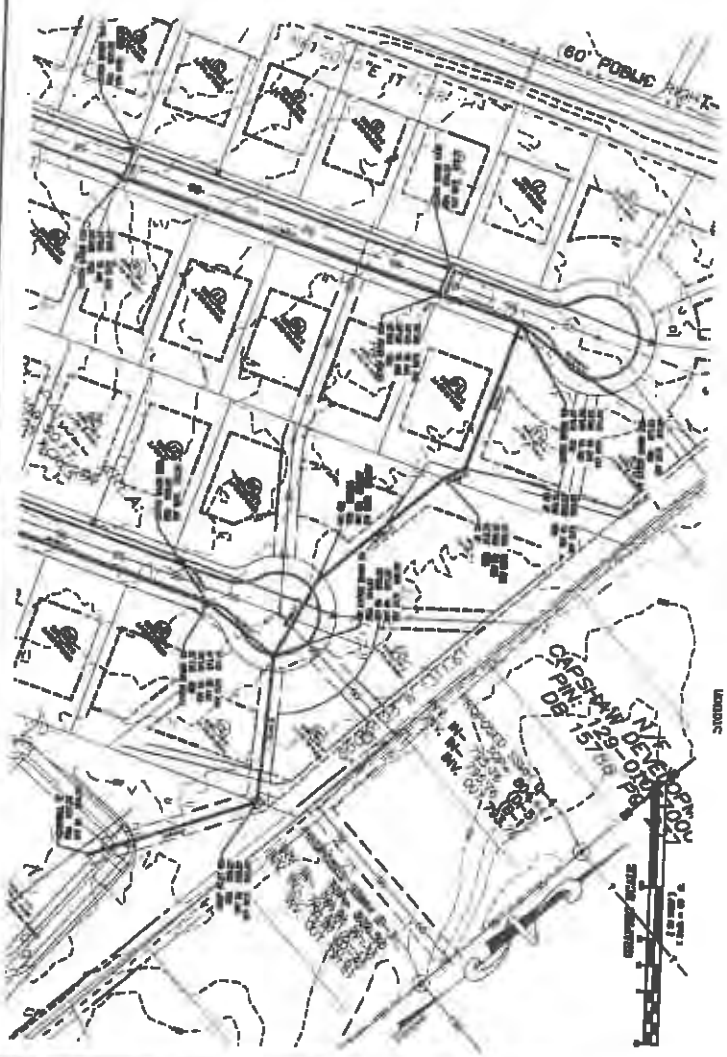
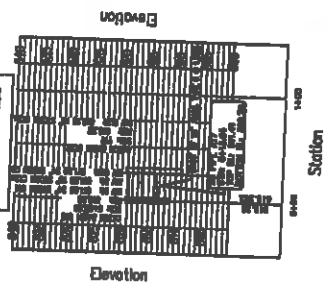


DESIGN
HARRIS, WATKINS, INC.
REGISTERED PROFESSIONAL
ENGINEER
STATE OF GEORGIA
LICENSE NO. 10000
I HAVE REVIEWED THESE PLANS
AND I CERTIFY THAT THEY
COMPLY WITH ALL CITY, STATE AND FEDERAL
REQUIREMENTS.

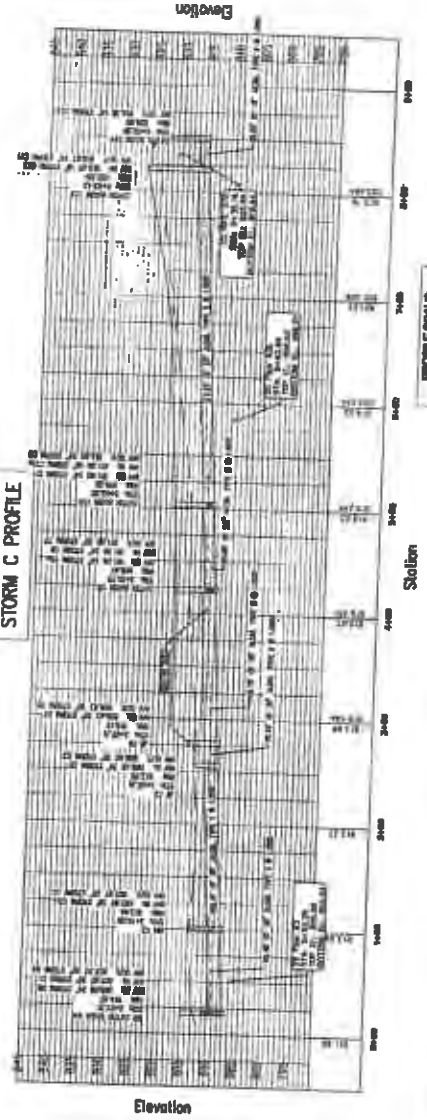
STORM CB-CBA PROFILE



C12a PROFILE



STORM C PROFILE



OWNER / DEVELOPER
CAPERMAN DEVELOPMENT COMPANY, LLC
400 BROADWAY ROAD
MARIETTA, GA 30067
20 PHONE CONTRACT
TERRY RUSSELL
678-425-4770

PROFILE SCALE
1" = 20' HORIZONTAL
1" = 10' VERTICAL

SAINTVILLE ROAD SUBDIVISION
SEWER COLLECTION SYSTEM

DATE: 10/15/03
 DRAWN BY: [Name]
 CHECKED BY: [Name]

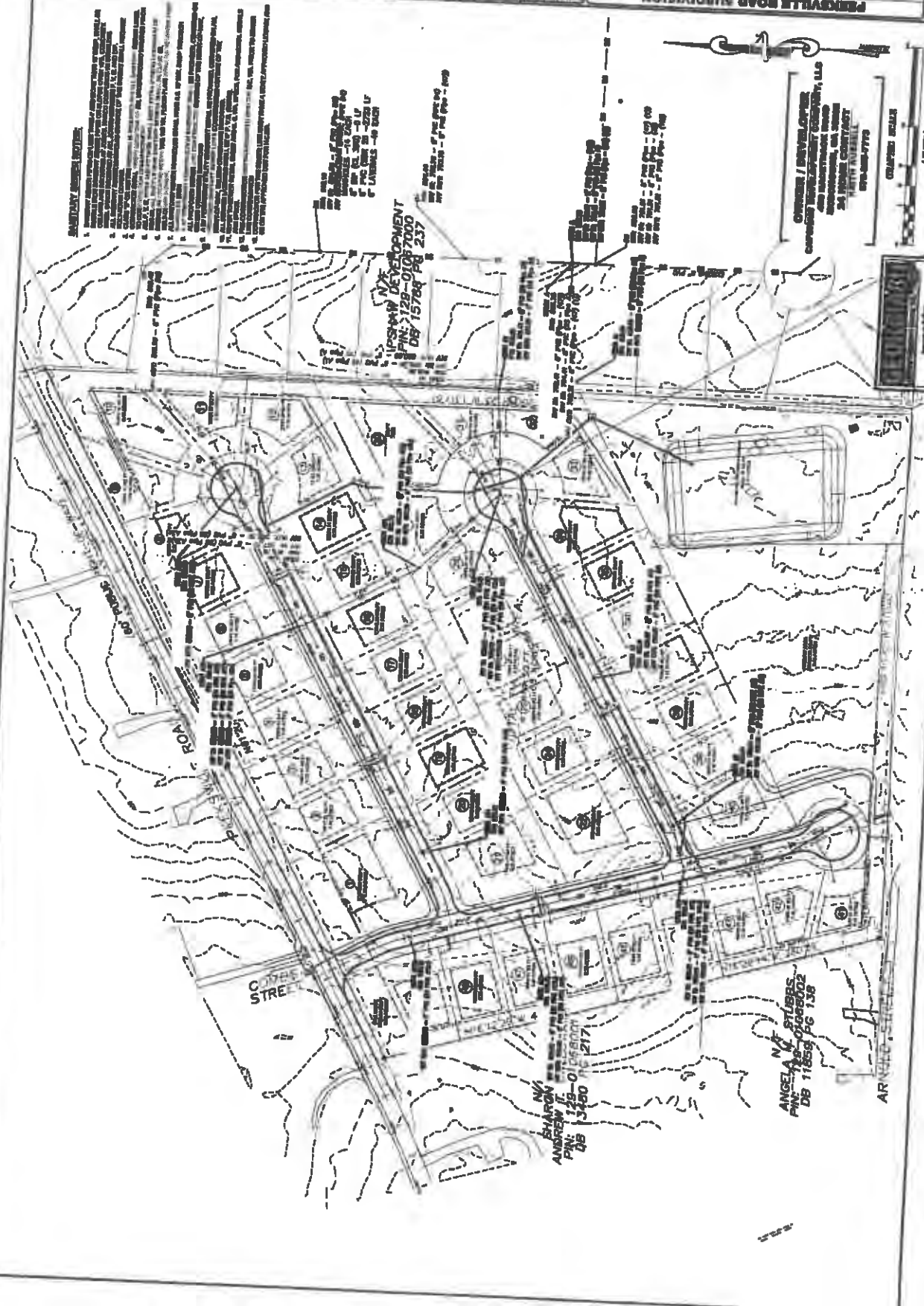
THIS DRAWING IS THE PROPERTY OF [Company Name] AND IS NOT TO BE REPRODUCED OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, ELECTRONIC OR MECHANICAL, INCLUDING PHOTOCOPYING, RECORDING, OR BY ANY INFORMATION STORAGE AND RETRIEVAL SYSTEM, WITHOUT THE WRITTEN PERMISSION OF THE DESIGN PROFESSIONAL.

NO.	REVISION	DATE	DESCRIPTION

WILEY ENGINEERING INC.
 DESIGN PROFESSIONAL
 TEL: 070946-0256
 C. MARK STREET N.
 HAWTON, CA 90228



DATE: 10/15/03
 DRAWN BY: [Name]
 CHECKED BY: [Name]



PERKINSVILLE ROAD SUBDIVISION
STORM WATER SYSTEM

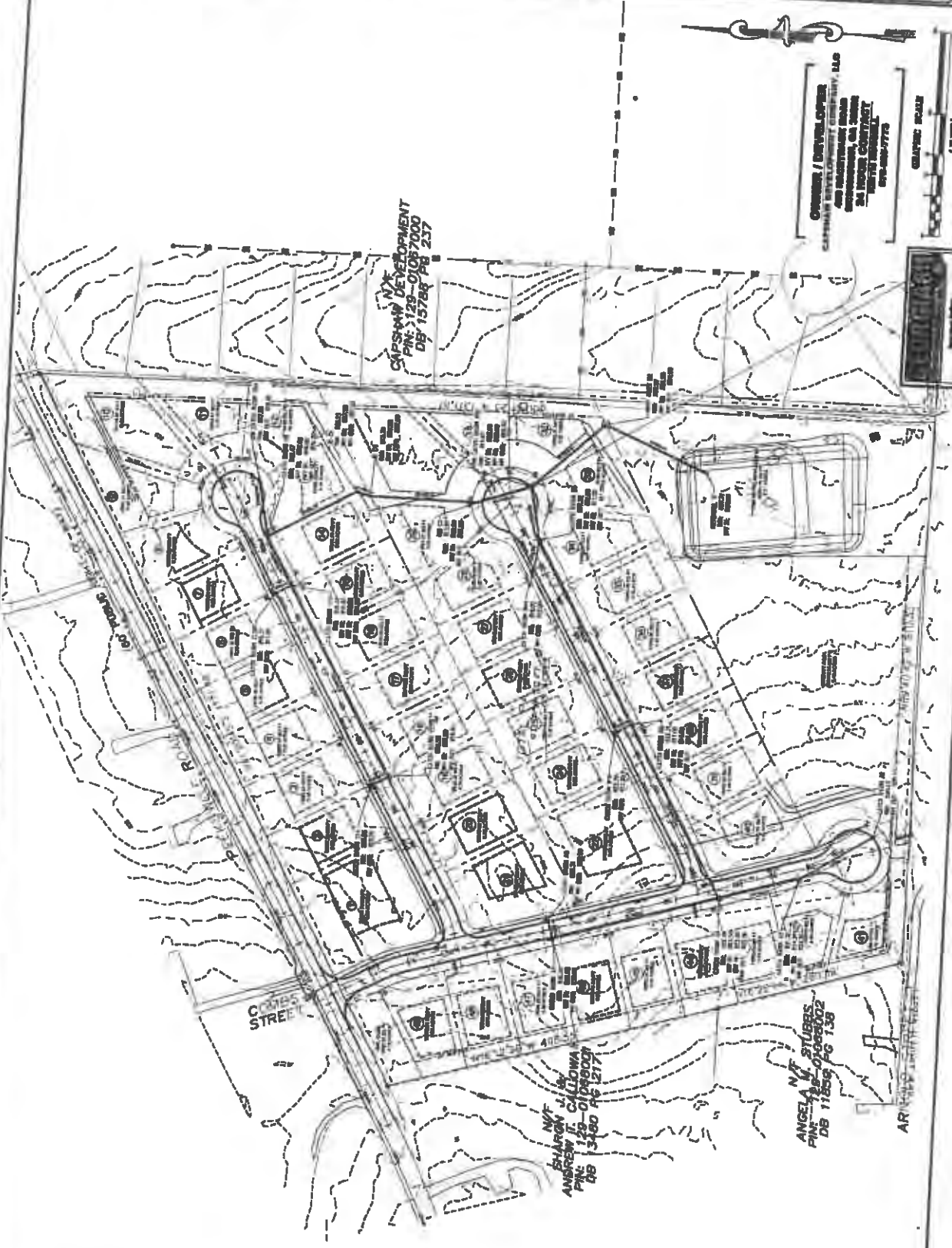
THIS DRAWING IS THE PROPERTY OF WHITELEY ENGINEERING, INC. AND MAY BE REPRODUCED OR TRANSMITTED IN ANY FORM OR BY ANY MEANS WITHOUT THE WRITTEN CONSENT OF THE ENGINEER. ANY REVISIONS TO THIS DRAWING SHALL BE MADE BY THE ENGINEER.

NO.	DATE	DESCRIPTION

WHITELEY
ENGINEERING INC.
DESIGN FIRM
PROJECT
MANAGER
TEL: 079946-0216
2 MAIN STREET N.
HAMPTON, VA 23020



WHITELEY ENGINEERING, INC.
10000 WOODBURN ROAD
SUITE 100
DUMFRIES, VA 22025
PHONE: 703-823-1100
FAX: 703-823-1101
WWW.WHITELEY-VA.COM



OWNER / DESIGN OFFICE
CAPS-WAY DEVELOPMENT, LLC
400 WOODBURN ROAD
SUITE 100
DUMFRIES, VA 22025
PHONE: 703-823-1100
FAX: 703-823-1101
WWW.WHITELEY-VA.COM

NY
CAPS-WAY DEVELOPMENT
PIN: 1129-01087000
DB 15788 PG 2517

NY
SHARON J. CALDWELL
PIN: 1129-01087000
DB 15788 PG 2517

NY
ANGELA M. STUBBS
PIN: 1129-01087000
DB 15788 PG 138



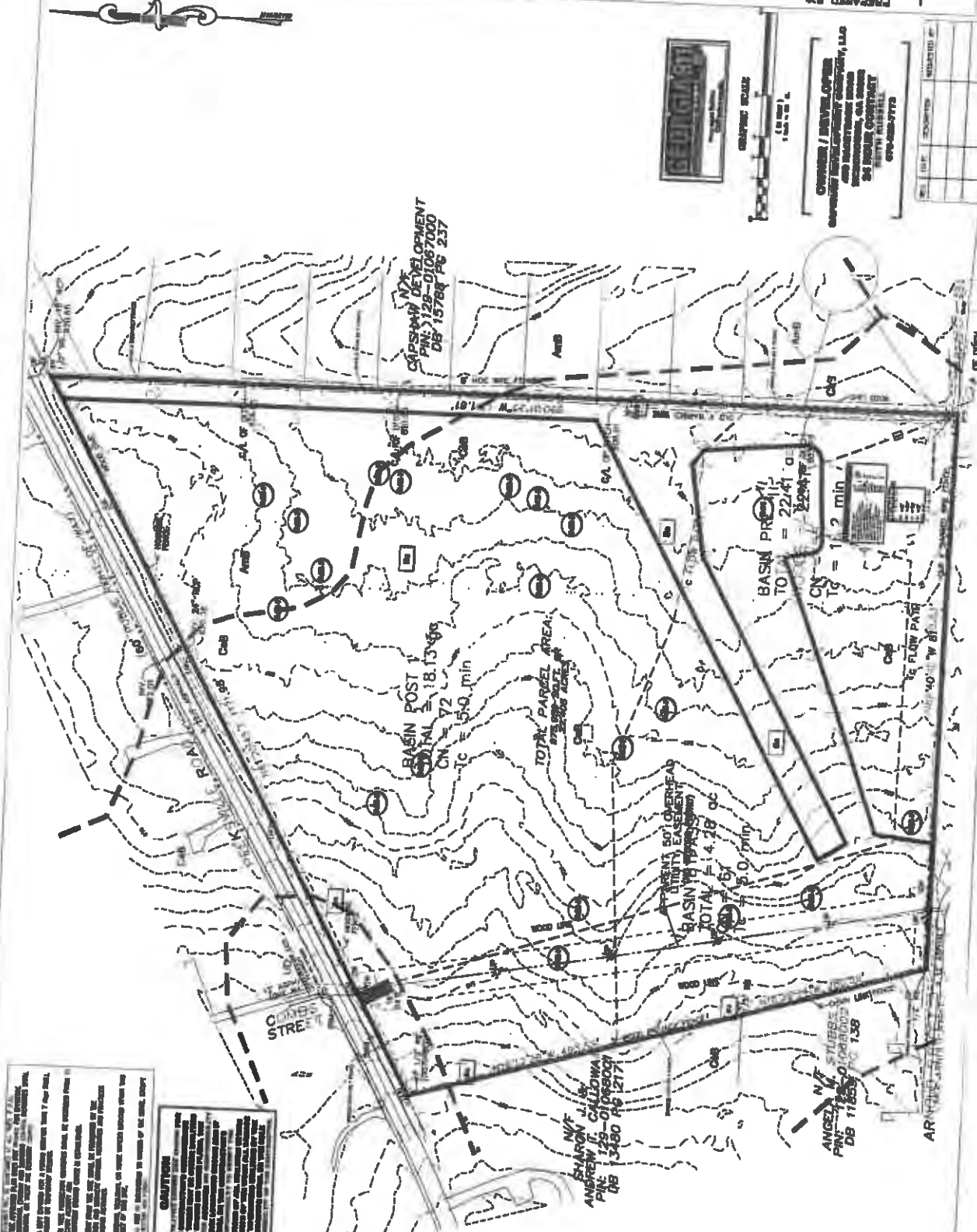
CSWCC
 S. L. REEVES, RLS, #2
 000003947
 DESIGN PROFESSIONAL
 LEVEL & CENTERED

PEEKSVILLE ROAD SUBDIVISION
 SHEET: NATURAL EROSION & SEDIMENTATION CONTROL PLAN
 LAND LOTS 188
 DISTRICT: HENRY COUNTY, GA
 DATE: 09/11/2021
 SCALE: 1" = 60'
 DTM: LOULIST GROVE

S. L. Reeves Land Surveying
 PREPARED BY
 LAND SURVEYING, PLANNING & SUBDIVISION DESIGN
 P.O. BOX 682 • 11001 HENRY ROAD • ZEPHURUS, GA 30286
 770-584-8800 • s.l.reeves@slreeves.com (land)



SHEET NO. C8.0



CAUTION
 THIS PLAN IS A PRELIMINARY DESIGN AND IS NOT TO BE USED FOR CONSTRUCTION. THE DESIGNER ASSUMES NO LIABILITY FOR ANY DAMAGE OR INJURY RESULTING FROM THE USE OF THIS PLAN. THE USER OF THIS PLAN SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND FOR VERIFYING THE ACCURACY OF ALL DATA AND INFORMATION PROVIDED TO THE DESIGNER. THE DESIGNER'S LIABILITY IS LIMITED TO THE PROFESSIONAL SERVICES PROVIDED AND DOES NOT EXTEND TO ANY OTHER MATTER. THE USER OF THIS PLAN SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND FOR VERIFYING THE ACCURACY OF ALL DATA AND INFORMATION PROVIDED TO THE DESIGNER. THE DESIGNER'S LIABILITY IS LIMITED TO THE PROFESSIONAL SERVICES PROVIDED AND DOES NOT EXTEND TO ANY OTHER MATTER.

CONTRACTOR
 THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND FOR VERIFYING THE ACCURACY OF ALL DATA AND INFORMATION PROVIDED TO THE DESIGNER. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND FOR VERIFYING THE ACCURACY OF ALL DATA AND INFORMATION PROVIDED TO THE DESIGNER. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND FOR VERIFYING THE ACCURACY OF ALL DATA AND INFORMATION PROVIDED TO THE DESIGNER.

N7X
 CAPS-WAY DEVELOPMENT
 PIN: 128-01087000
 DB: 15788 PG 237

SWARON
 ANDREW J. SWARON
 PIN: 128-01087000
 DB: 15480 PG 1277

ANSEL
 PIN: 128-01087000
 DB: 11550 PG 1338

OWNER / DEVELOPER
 AND INVESTMENT CONSULTANT, LLC
 54 HENRY ROAD, SUITE 100
 ZEPHURUS, GA 30286
 (770) 584-8800

NO.	DATE	DESCRIPTION	BY



S.T. Heeves Land Surveying
LAND SURVEYING, PLANNING & SUBDIVISION DESIGN
770-204-833 • 17491 HIGHWAY 18 N • ZEPHURUS, GA. 30288
OFFICE: 770-204-833 • 17491 HIGHWAY 18 N • ZEPHURUS, GA. 30288

DATE: 05/11/2021
SHEET: 1 OF 80
PROJECT: PEKSVILLE ROAD SUBDIVISION
LAND LOTS 188
2ND DISTRICT
HART COUNTY, GA.
SHEET: INTERMEDIATE DESIGN & DEMONSTRATION
CONTROL PLAN

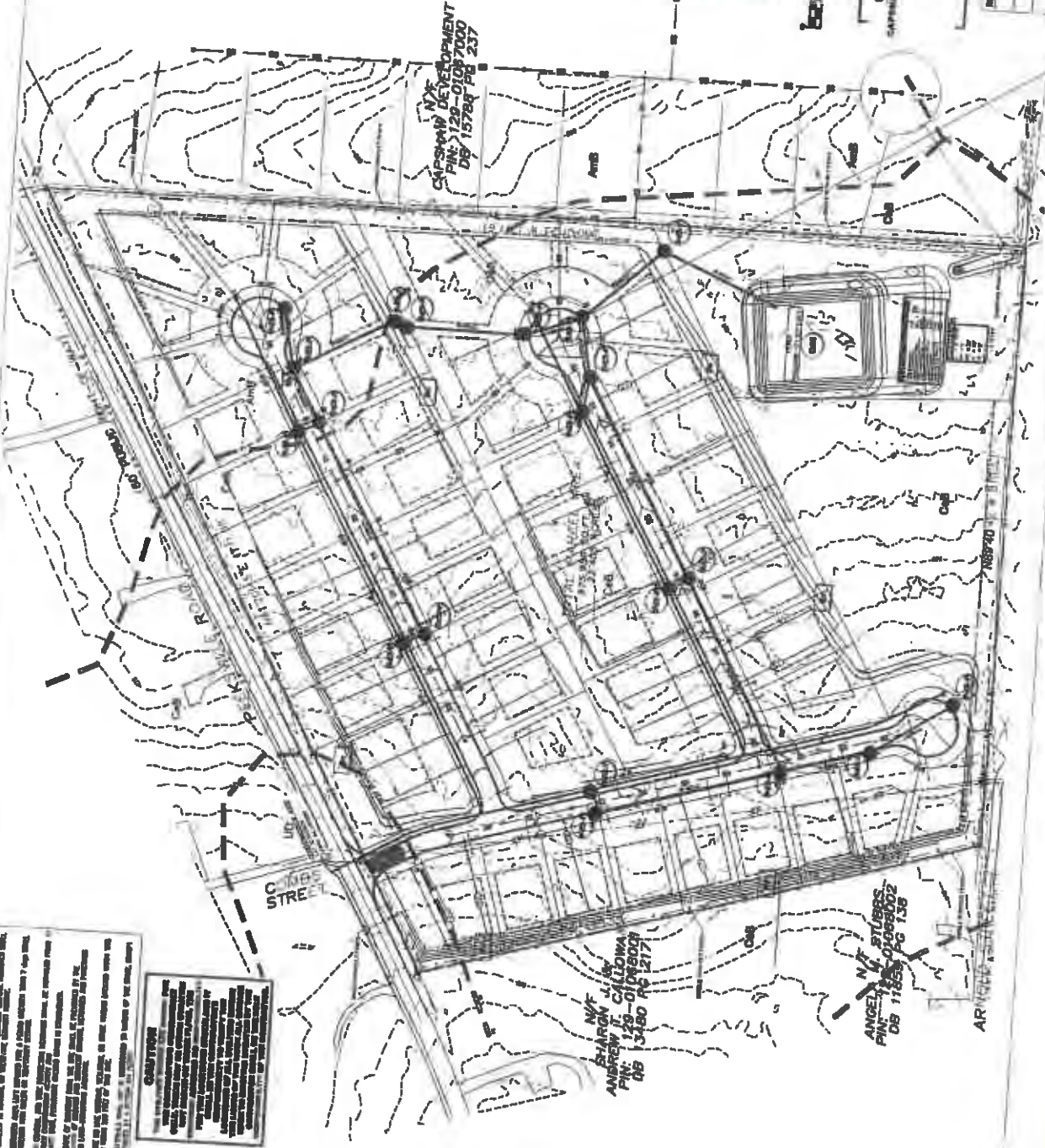
CSWIC
STATE OF GEORGIA
J. HEEVES, R.L.S.
000035847
LEVEL II CERTIFIED
DESIGN PROFESSIONAL



PREPARED BY:
OWNER / DEVELOPER:
SAPPHIRE DEVELOPMENT COMPANY, LLC
1000 W. BROADWAY
SUITE 200
DALLAS, TEXAS 75203
714-444-7772



DATE	DESCRIPTION	BY



NEW DEVELOPMENT
PIN: 129-01097000
DB 15788 PG 237

NEW
STARON J. LEE
ANDREW J. CALLOWAY
PIN: 129-01098001
DB 3480 PG 1217

NEW
ANGEL M. STURGES
PIN: 129-01098002
DB 11859 PG 138

CAUTION:
THIS PLAN IS A PRELIMINARY DESIGN AND IS NOT TO BE USED FOR CONSTRUCTION. THE FINAL DESIGN SHALL BE DETERMINED BY THE SURVEYOR AND THE CLIENT. THE CLIENT SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE APPROPRIATE AGENCIES. THE SURVEYOR SHALL NOT BE RESPONSIBLE FOR ANY ERRORS OR OMISSIONS IN THIS PLAN. THE CLIENT SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE APPROPRIATE AGENCIES. THE SURVEYOR SHALL NOT BE RESPONSIBLE FOR ANY ERRORS OR OMISSIONS IN THIS PLAN.

NOTES:
1. ALL DIMENSIONS ARE IN FEET AND DECIMALS THEREOF.
2. ALL CORNERS ARE TO BE MARKED WITH IRON PIPES OR STEEL PIPES.
3. ALL DISTANCES ARE TO BE MEASURED ALONG THE CENTERLINE OF THE ROAD.
4. ALL DISTANCES ARE TO BE MEASURED ALONG THE CENTERLINE OF THE ROAD.
5. ALL DISTANCES ARE TO BE MEASURED ALONG THE CENTERLINE OF THE ROAD.



OSWCC
DESIGN PROFESSIONAL
LEVEL II CERTIFIED
00000355
3700 R.S. # 10
1 REEVES LAND SURVEYING, INC.

PEKSVILLE ROAD SUBDIVISION
SHEET: NOTES
LAND LOTS 18B AND 18C
2ND DISTRICT
HENRY COUNTY, GA.
SCALE: 1" = 60'
DATE: 09/11/2021
LOCUST GROVE

S.J. Reeves Land Surveying
LAND SURVEYING, PLANNING & SUBDIVISION DESIGN
P.O. BOX 803 • 11491 HORNWAY RD • ZENESON, GA, 30268
770-564-8203 • s.j.reeves@sjrland.com (EMAIL)



SHEET NO. C17.3

Location of Best Management Practices that are consistent with and no less stringent than the Standard for Erosion and Sediment Control in Georgia. Use uniform coding symbols from the Manual, Chapter 4, with legend.

**GEORGIA
UNIFORM CODING SYSTEM
FOR SOIL EROSION AND SEDIMENT CONTROL**
UNIFORM CODE AND VEGETATION/VEGETATION CONTROL

STRUCTURAL PRACTICES		VEGETATIVE PRACTICES	
1	1	1	1
2	2	2	2
3	3	3	3
4	4	4	4
5	5	5	5
6	6	6	6
7	7	7	7
8	8	8	8
9	9	9	9
10	10	10	10
11	11	11	11
12	12	12	12
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50	50	50	50

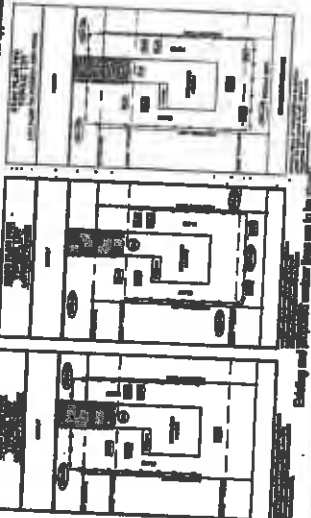
Provide vegetative plan, using all temporary and permanent vegetative practices. Include species, planting dates and seedling, sodding, hay and mulching notes. Vegetative plans shall be site specific for appropriate time of year that meeting all site plan and for the appropriate geographic region of Georgia.

Refer to Item 4.2.4, "Native Grassland Inventory" for all vegetative plans that require native grassland and native grassland vegetation practices including mowing, planting dates and seedling varieties. These and other vegetative practices shall be approved by the Georgia Forestry Commission.

Appendix B contains the RTU values of all rainfall capturing ponds where applicable.

NO.	DATE	REVISION	BY
1			
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The following BMPs for all phases of erosion development including building, grading, site and post-construction, are required to be installed and maintained in accordance with the Georgia Erosion and Sediment Control Manual, Chapter 4, with legend.



An estimate of the runoff coefficient or peak discharge rate of the site prior to and after construction shall be provided.

RUNOFF COEFFICIENT
UNIFORM CODE AND VEGETATION/VEGETATION CONTROL

Show details plan and site velocity with appropriate runoff practices to accommodate discharge values. Identify all discharge points, including all storm water discharge points.

See notes for the project on the site plan for: Soil erosion Assessment and characterization. See notes for the project on the site plan for: Soil erosion Assessment and characterization.

SOIL INFORMATION
THE EXISTING SOILS ON SITE CONSIST OF:
CIS - CECAL SANDY LOAM, A TYPICAL PARENTS: B1013

The total discharge for each phase of construction shall be calculated and shown on the site plan. The total discharge shall be calculated for each phase of construction. The total discharge shall be calculated for each phase of construction.

A minimum of 25 cubic yards of sediment traps for each defined sub-project shall be provided. The sediment traps shall be provided for each defined sub-project. The sediment traps shall be provided for each defined sub-project.

Provide detailed drawings for all structural practices. Specifications must, at a minimum, meet the Georgia Erosion and Sediment Control Manual, Chapter 4, with legend.

A description of appropriate controls and measures that will be implemented at the construction site including: (1) Initial erosion control measures, (2) Intermediate erosion control measures, (3) Final erosion control measures, (4) Sediment control measures, (5) Vegetative control measures, (6) Structural control measures, (7) Other control measures.

INITIAL PHASE EROSION AND SEDIMENT CONTROL SCHEDULE

1. Initial erosion control measures shall be implemented within 14 days of the start of construction. 2. Intermediate erosion control measures shall be implemented within 30 days of the start of construction. 3. Final erosion control measures shall be implemented within 60 days of the start of construction. 4. Sediment control measures shall be implemented within 14 days of the start of construction. 5. Vegetative control measures shall be implemented within 30 days of the start of construction. 6. Structural control measures shall be implemented within 60 days of the start of construction. 7. Other control measures shall be implemented within 14 days of the start of construction.

Complete site and soil notes. Refer to each building sheet for building details and grading and proposed contour lines.

Refer to sheet C17.3 - "Grading Schedule" for the Building Schedule and Sheet C17.4 - "Grading Schedule" for the Proposed Contour Lines. The building and proposed contour lines shall be shown on the building schedule sheet.

Use of alternative BMP's whose performance has been documented to be equivalent to or superior to conventional BMP's as outlined by a Design Professional.

1. One BMP may be substituted for the alternative BMP's as equivalent or superior to the conventional BMP's based on the "Soil Loss for Storms and Sedimentation Control or Grading" Manual. 2. Documented only by site testing information BMP's, conventional BMP's using the appropriate design requirements and specifications outlined in the Manual. 3. Proof that the alternative BMP's are equivalent or superior to the conventional BMP's using the appropriate design requirements and specifications outlined in the Manual. 4. All specifications including the design requirements and the procedures for proper installation and maintenance. All items of documentation shall be signed and certified by the Design Professional who is preparing the BMP's and shall include the Design Professional's seal and GS&C Design Professional certification.

Use of alternative BMP's whose performance has been documented to be equivalent to or superior to conventional BMP's as outlined by a Design Professional. There are 22 alternative BMP's being listed on this site.

Definition of the site's 25-foot or 30-foot sub-project building footprint to site notes and any additional notes required by the Local Building Authority. Clearly note and delineate all levels of impact.

Definition of on-site setbacks and all setbacks located on and within 200 feet of the project site. There are 22 setbacks outlined on and within 200 feet of the project site.

Definition and intensity of controlling drainage basins on the project site. Refer to the hydrologic study.

Refer to hydrologic study for future reference.

Disturbed Area Stabilization (With Mulching Only)

REQUIREMENT FOR REGULATORY COMPLIANCE
 This section provides the minimum standards for stabilizing disturbed areas with mulch. The standards are based on the Georgia Department of Transportation (DOT) standards for road construction. The standards are intended to provide a minimum level of protection for the soil and water resources of the project area. The standards are intended to be used in conjunction with the other standards of this plan.

CONSTRUCTION
 The disturbed area shall be stabilized with mulch within 14 days of the completion of the construction activity. The mulch shall be applied at a rate of 2.0 to 3.0 cubic feet per 100 square feet of disturbed area. The mulch shall be applied in a uniform layer over the entire disturbed area.

MAINTENANCE
 The mulch shall be maintained for a minimum of 12 months after application. The mulch shall be replaced as needed to maintain a minimum depth of 2.0 to 3.0 cubic feet per 100 square feet of disturbed area. The mulch shall be replaced as needed to maintain a minimum depth of 2.0 to 3.0 cubic feet per 100 square feet of disturbed area.

APPLICATION
 The mulch shall be applied to the disturbed area within 14 days of the completion of the construction activity. The mulch shall be applied at a rate of 2.0 to 3.0 cubic feet per 100 square feet of disturbed area. The mulch shall be applied in a uniform layer over the entire disturbed area.

Dust Control on Disturbed Areas

METHOD AND MATERIALS

A. WATER TREATMENT
 The water used for dust control shall be treated to remove any harmful substances. The water shall be applied at a rate of 0.1 to 0.2 gallons per 100 square feet of disturbed area. The water shall be applied in a uniform layer over the entire disturbed area.

B. FERTILIZER
 The fertilizer used for dust control shall be applied at a rate of 1.0 to 2.0 pounds per 100 square feet of disturbed area. The fertilizer shall be applied in a uniform layer over the entire disturbed area.

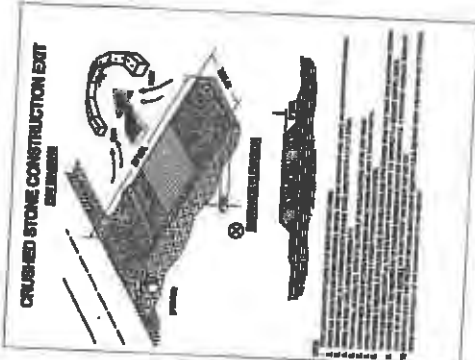
Construction Exit

CONSTRUCTION SPECIFICATIONS

The construction exit shall be constructed to meet the following specifications: 1. The exit shall be constructed of crushed stone. 2. The exit shall be constructed to a minimum depth of 18 inches. 3. The exit shall be constructed to a maximum width of 12 feet.

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S.L. REEVES, PLS
 NO. 27705
 LEVEL II CERTIFIED
 DESIGN PROFESSIONAL

PEKSWILE ROAD SUBDIVISION
 SHEET: E & S DETAILS
 LAND LOTS 188
 2ND DISTRICT
 HENRY COUNTY, GA.
 SCALE: 1" = 80'
 DATE: 08/11/2021
 LOCATION: LOOCHT GROVE

S.L. REEVES Land Surveying
 PREPARED BY:
 LAND SURVEYING, PLANNING & SUBDIVISION DESIGN
 P.O. BOX 633 • 11491 HIGHWAY 18 N • ZEPHYRUS, GA. 30280
 770-294-8803 • sreeves@slreeves.com (EMAIL)



NO.	DESCRIPTION	QUANTITY	UNIT	PRICE	TOTAL
1	Crushed Stone	100	cu yd	10.00	1000.00
2	Water	100	gal	0.10	10.00
3	Fertilizer	100	lb	2.00	200.00
4	Mulch	100	cu yd	10.00	1000.00
5	Construction Exit	1	unit	1000.00	1000.00
6	Disturbed Area Stabilization	100	sq ft	1.00	100.00
7	Dust Control	100	sq ft	0.10	10.00
8	Water Treatment	100	gal	0.10	10.00
9	Fertilizer	100	lb	2.00	200.00
10	Mulch	100	cu yd	10.00	1000.00
11	Construction Exit	1	unit	1000.00	1000.00
12	Disturbed Area Stabilization	100	sq ft	1.00	100.00
13	Dust Control	100	sq ft	0.10	10.00
14	Water Treatment	100	gal	0.10	10.00
15	Fertilizer	100	lb	2.00	200.00
16	Mulch	100	cu yd	10.00	1000.00
17	Construction Exit	1	unit	1000.00	1000.00
18	Disturbed Area Stabilization	100	sq ft	1.00	100.00
19	Dust Control	100	sq ft	0.10	10.00
20	Water Treatment	100	gal	0.10	10.00
21	Fertilizer	100	lb	2.00	200.00
22	Mulch	100	cu yd	10.00	1000.00
23	Construction Exit	1	unit	1000.00	1000.00
24	Disturbed Area Stabilization	100	sq ft	1.00	100.00
25	Dust Control	100	sq ft	0.10	10.00
26	Water Treatment	100	gal	0.10	10.00
27	Fertilizer	100	lb	2.00	200.00
28	Mulch	100	cu yd	10.00	1000.00
29	Construction Exit	1	unit	1000.00	1000.00
30	Disturbed Area Stabilization	100	sq ft	1.00	100.00
31	Dust Control	100	sq ft	0.10	10.00
32	Water Treatment	100	gal	0.10	10.00
33	Fertilizer	100	lb	2.00	200.00
34	Mulch	100	cu yd	10.00	1000.00
35	Construction Exit	1	unit	1000.00	1000.00
36	Disturbed Area Stabilization	100	sq ft	1.00	100.00
37	Dust Control	100	sq ft	0.10	10.00
38	Water Treatment	100	gal	0.10	10.00
39	Fertilizer	100	lb	2.00	200.00
40	Mulch	100	cu yd	10.00	1000.00
41	Construction Exit	1	unit	1000.00	1000.00
42	Disturbed Area Stabilization	100	sq ft	1.00	100.00
43	Dust Control	100	sq ft	0.10	10.00
44	Water Treatment	100	gal	0.10	10.00
45	Fertilizer	100	lb	2.00	200.00
46	Mulch	100	cu yd	10.00	1000.00
47	Construction Exit	1	unit	1000.00	1000.00
48	Disturbed Area Stabilization	100	sq ft	1.00	100.00
49	Dust Control	100	sq ft	0.10	10.00
50	Water Treatment	100	gal	0.10	10.00
51	Fertilizer	100	lb	2.00	200.00
52	Mulch	100	cu yd	10.00	1000.00
53	Construction Exit	1	unit	1000.00	1000.00
54	Disturbed Area Stabilization	100	sq ft	1.00	100.00
55	Dust Control	100	sq ft	0.10	10.00
56	Water Treatment	100	gal	0.10	10.00
57	Fertilizer	100	lb	2.00	200.00
58	Mulch	100	cu yd	10.00	1000.00
59	Construction Exit	1	unit	1000.00	1000.00
60	Disturbed Area Stabilization	100	sq ft	1.00	100.00
61	Dust Control	100	sq ft	0.10	10.00
62	Water Treatment	100	gal	0.10	10.00
63	Fertilizer	100	lb	2.00	200.00
64	Mulch	100	cu yd	10.00	1000.00
65	Construction Exit	1	unit	1000.00	1000.00
66	Disturbed Area Stabilization	100	sq ft	1.00	100.00
67	Dust Control	100	sq ft	0.10	10.00
68	Water Treatment	100	gal	0.10	10.00
69	Fertilizer	100	lb	2.00	200.00
70	Mulch	100	cu yd	10.00	1000.00
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74	Water Treatment	100	gal	0.10	10.00
75	Fertilizer	100	lb	2.00	200.00
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79	Dust Control	100	sq ft	0.10	10.00
80	Water Treatment	100	gal	0.10	10.00
81	Fertilizer	100	lb	2.00	200.00
82	Mulch	100	cu yd	10.00	1000.00
83	Construction Exit	1	unit	1000.00	1000.00
84	Disturbed Area Stabilization	100	sq ft	1.00	100.00
85	Dust Control	100	sq ft	0.10	10.00
86	Water Treatment	100	gal	0.10	10.00
87	Fertilizer	100	lb	2.00	200.00
88	Mulch	100	cu yd	10.00	1000.00
89	Construction Exit	1	unit	1000.00	1000.00
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91	Dust Control	100	sq ft	0.10	10.00
92	Water Treatment	100	gal	0.10	10.00
93	Fertilizer	100	lb	2.00	200.00
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95	Construction Exit	1	unit	1000.00	1000.00
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97	Dust Control	100	sq ft	0.10	10.00
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64	Mulch	100	cu yd	10.00	1000.00
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66	Disturbed Area Stabilization	100	sq ft	1.00	100.00

**Disturbed Area Stabilization
(With Permanent Vegetation)**

REQUIREMENTS FOR VEGETATION COMPLY LINES

The purpose of this document is to provide the minimum requirements for the establishment and maintenance of permanent vegetation on disturbed areas. The requirements are based on the following principles:

- 1. The vegetation must be established within a reasonable time frame after the disturbance.
- 2. The vegetation must be of a type that is native to the area and capable of self-maintenance.
- 3. The vegetation must be established in a manner that is consistent with the natural processes of the area.
- 4. The vegetation must be established in a manner that is consistent with the aesthetic requirements of the area.
- 5. The vegetation must be established in a manner that is consistent with the safety requirements of the area.

PLANTING REQUIREMENTS

1. The plants must be of a type that is native to the area and capable of self-maintenance.
2. The plants must be established in a manner that is consistent with the natural processes of the area.
3. The plants must be established in a manner that is consistent with the aesthetic requirements of the area.
4. The plants must be established in a manner that is consistent with the safety requirements of the area.
5. The plants must be established in a manner that is consistent with the environmental requirements of the area.

MAINTENANCE REQUIREMENTS

1. The vegetation must be maintained in a manner that is consistent with the natural processes of the area.
2. The vegetation must be maintained in a manner that is consistent with the aesthetic requirements of the area.
3. The vegetation must be maintained in a manner that is consistent with the safety requirements of the area.
4. The vegetation must be maintained in a manner that is consistent with the environmental requirements of the area.
5. The vegetation must be maintained in a manner that is consistent with the health requirements of the area.

REPORTING REQUIREMENTS

The contractor shall submit a report to the owner at the following intervals:

- 1. At the time of planting.
- 2. At the time of first maintenance.
- 3. At the time of second maintenance.
- 4. At the time of third maintenance.
- 5. At the time of fourth maintenance.

**Disturbed Area Stabilization
(With Permanent Vegetation)**

The purpose of this document is to provide the minimum requirements for the establishment and maintenance of permanent vegetation on disturbed areas. The requirements are based on the following principles:

- 1. The vegetation must be established within a reasonable time frame after the disturbance.
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- 1. At the time of planting.
- 2. At the time of first maintenance.
- 3. At the time of second maintenance.
- 4. At the time of third maintenance.
- 5. At the time of fourth maintenance.

**Disturbed Area Stabilization
(With Permanent Vegetation)**

The purpose of this document is to provide the minimum requirements for the establishment and maintenance of permanent vegetation on disturbed areas. The requirements are based on the following principles:

- 1. The vegetation must be established within a reasonable time frame after the disturbance.
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PLANTING REQUIREMENTS

1. The plants must be of a type that is native to the area and capable of self-maintenance.
2. The plants must be established in a manner that is consistent with the natural processes of the area.
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MAINTENANCE REQUIREMENTS

1. The vegetation must be maintained in a manner that is consistent with the natural processes of the area.
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REPORTING REQUIREMENTS

The contractor shall submit a report to the owner at the following intervals:

- 1. At the time of planting.
- 2. At the time of first maintenance.
- 3. At the time of second maintenance.
- 4. At the time of third maintenance.
- 5. At the time of fourth maintenance.



S.J. REEVES, P.E. #2716
 00003567
 LEVEL 2 CERTIFIED
 DESIGN PROFESSIONAL

PEEKSVILLE ROAD SUBDIVISION
 SHEET: E & S DETAILS
 LAND LOTS 108 AND 109
 HENRY COUNTY, GA.
 DATE: 05/11/2021
 SCALE: 1" = 60'
 CITY: LOCUST GROVE

PREPARED BY:
S.J. Reeves Land Surveying
 P.O. BOX 602 • 11495 HENRY HWY 10 N • DEKALB, GA 30038
 770-424-2022 • sjreeves@sjreeves.com



SEEKING SUR
 SHEET NO. C12.7

ITEM	DESCRIPTION	QUANTITY	UNIT	PRICE	TOTAL
1	Excavation	100	CY	1.00	100.00
2	Backfill	100	CY	1.00	100.00
3	Gravel	100	CY	1.00	100.00
4	Planting	100	PL	1.00	100.00
5	Maintenance	100	HR	1.00	100.00

ITEM	DESCRIPTION	QUANTITY	UNIT	PRICE	TOTAL
6	Planting	100	PL	1.00	100.00
7	Maintenance	100	HR	1.00	100.00
8	Gravel	100	CY	1.00	100.00
9	Backfill	100	CY	1.00	100.00
10	Excavation	100	CY	1.00	100.00

ITEM	DESCRIPTION	QUANTITY	UNIT	PRICE	TOTAL
11	Planting	100	PL	1.00	100.00
12	Maintenance	100	HR	1.00	100.00
13	Gravel	100	CY	1.00	100.00
14	Backfill	100	CY	1.00	100.00
15	Excavation	100	CY	1.00	100.00

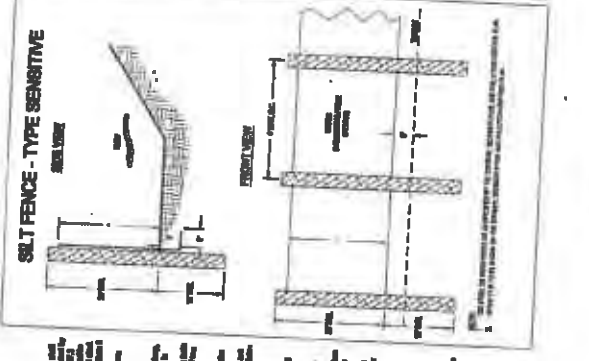
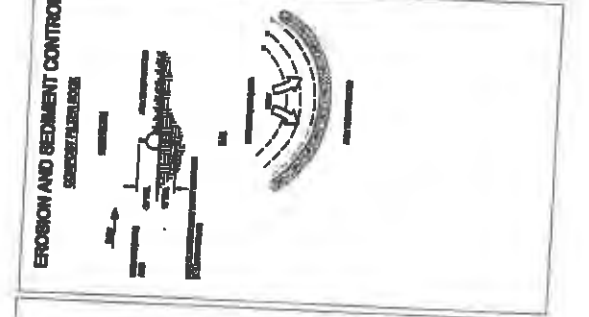
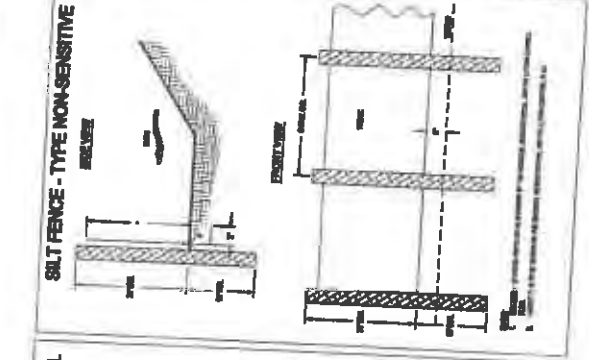
NO.	DATE	REVISION



DATE: 05/11/2021
 SCALE: 1" = 60'
 LAND LOTS 100
 SHEET: E & S DETAILS
 PERKINSVILLE ROAD SUBDIVISION

OSWICK
 J. REEVES, P.L.S. #2150
 LEVEL II CERTIFIED
 DESIGN PROFESSIONAL
 000035847
 HENRY COUNTY, GA
 770-884-8203
 jreeves@jreeves.com (EMAIL)
 LAND SURVEYING, PLANNING & SUBDIVISION DESIGN

PREPARED BY:
S.L. Reeves Land Surveying
 P.O. BOX 633 • 11671 HIGHWAY 18 N • ZENAI, GA, 30288
 SHEET NO. **CT3.0**

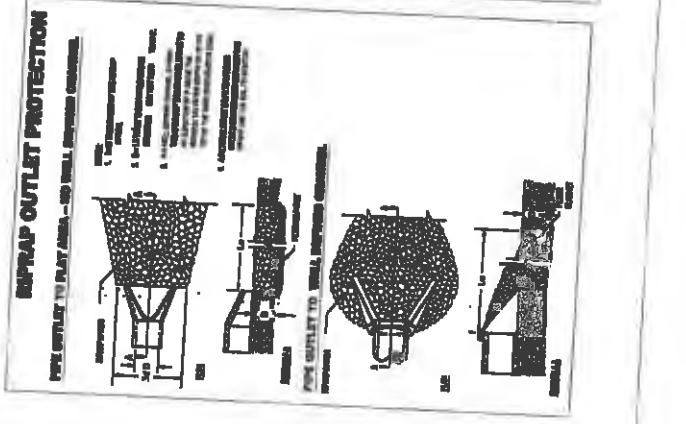
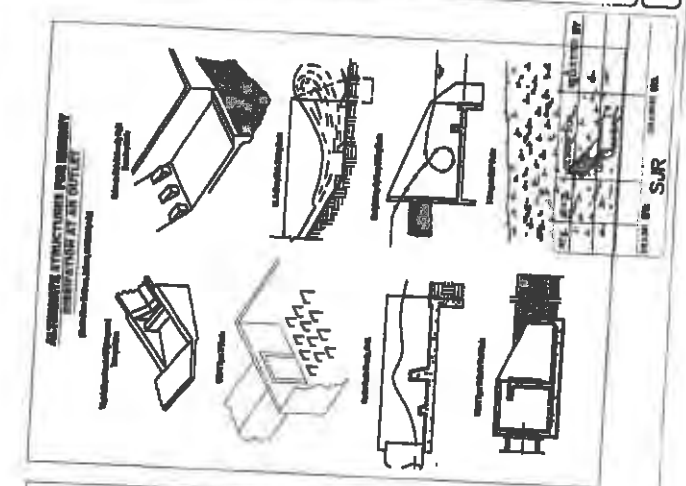


CONSTRUCTION SPECIFICATIONS

1. The silt fence shall be constructed of concrete curb and wall. The curb shall be 12 inches high and the wall shall be 12 inches thick. The fabric filter strip shall be 12 inches wide and shall extend down to the gravel base.

2. The silt fence shall be constructed of concrete curb and wall. The curb shall be 12 inches high and the wall shall be 12 inches thick. The fabric filter strip shall be 12 inches wide and shall extend down to the gravel base.

3. The silt fence shall be constructed of concrete curb and wall. The curb shall be 12 inches high and the wall shall be 12 inches thick. The fabric filter strip shall be 12 inches wide and shall extend down to the gravel base.

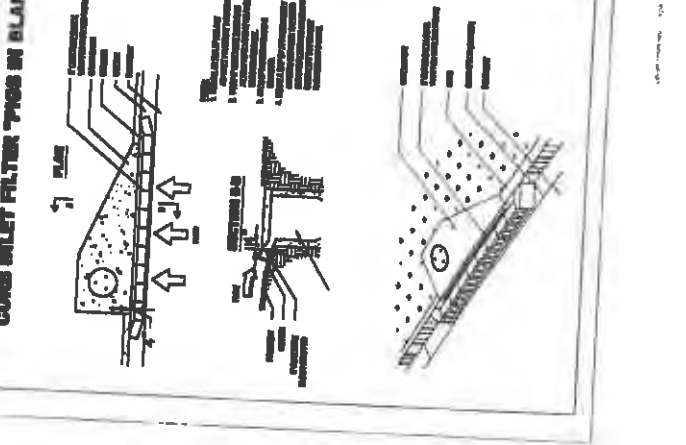
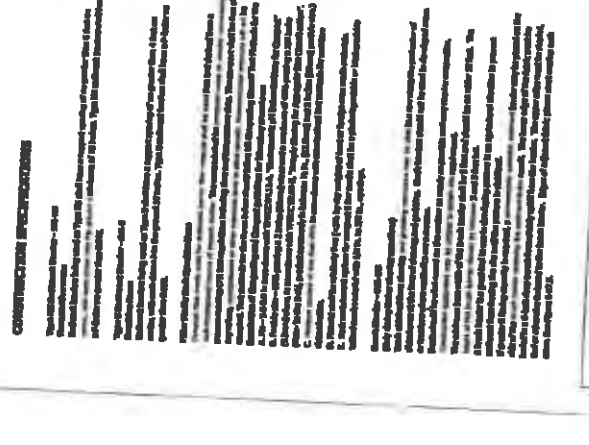


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OSWCC
 TREV L. REEVES, PLS. #2
 000019847
 LEVEL II CERTIFIED
 DESIGN PROFESSIONAL

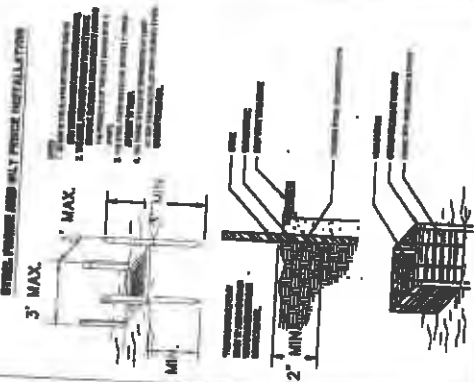
PEKSKVILLE ROAD SUBDIVISION
 SHEET E & S DETAILS
 LAND LOTS 188
 2ND DISTRICT
 HENRY COUNTY, GA.
 SCALE 1" = 60'
 DATE 05/11/2021
 LOCKST GROVE

S.J. Reeves Land Surveying
 PREPARED BY
 LAND SURVEYING, PLANNING & SUBDIVISION DESIGN
 P.O. BOX 803 • 11491 HIGHWAY 10 N • ZENONIA, GA. 30089
 770-924-0228 • office@sjreevesland.com (fax)
 770-924-0228 • sjreeves@sjreevesland.com

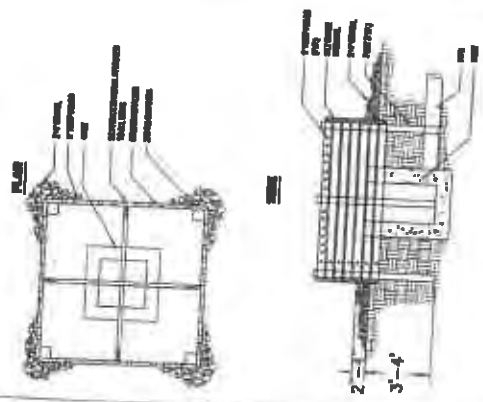
SHEET NO. C14.0

DESIGNED BY: _____
 DRAWN BY: _____
 CHECKED BY: _____
 APPROVED BY: _____
 DATE: _____

FABRIC AND SUPPORTING FRAME FOR INLET PROTECTION



BATTLE BOX



BLOCK AND GRAVEL DROP INLET PROTECTION

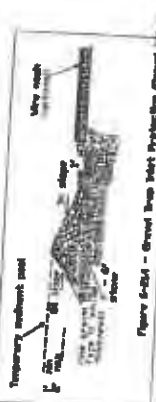
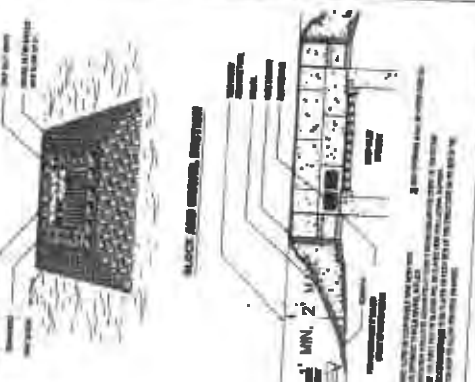


Figure 6-5A - Drop Inlet Protection
 Figure 6-5B - Drop Inlet Protection
 Figure 6-5C - Drop Inlet Protection
 Figure 6-5D - Drop Inlet Protection

Soil Stabilization

Soil stabilization is the process of applying a liquid or semi-solid material to soil to improve its engineering properties. This process is used to stabilize soil for construction purposes, such as for road construction, embankment construction, and foundation construction. The most common method of soil stabilization is the application of lime or cement. The process involves mixing the stabilizing material with the soil and then compacting the mixture. This process increases the soil's strength and reduces its moisture content, which improves its stability and load-bearing capacity. Soil stabilization is a critical component of many construction projects, particularly in areas with soft or unstable soil conditions.

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DUST CONTROL

Dust control is a critical component of many construction projects, particularly in areas with soft or unstable soil conditions. It involves the application of water or other dust suppressants to the soil surface to reduce the amount of dust that is kicked up during construction activities. This helps to improve air quality and reduce the risk of respiratory problems for workers and nearby residents. There are several methods of dust control, including the use of water sprays, chemical dust suppressants, and windbreaks. The choice of method depends on the specific conditions of the site and the nature of the construction activities.

Soil Erosion Control

Soil erosion control is a process of applying a liquid or semi-solid material to soil to improve its engineering properties. This process is used to stabilize soil for construction purposes, such as for road construction, embankment construction, and foundation construction. The most common method of soil erosion control is the application of lime or cement. The process involves mixing the stabilizing material with the soil and then compacting the mixture. This process increases the soil's strength and reduces its moisture content, which improves its stability and load-bearing capacity. Soil erosion control is a critical component of many construction projects, particularly in areas with soft or unstable soil conditions.

UNIFORM CODING SYSTEM FOR SOIL EROSION AND SEDIMENT CONTROL PRACTICES

STRUCTURAL PRACTICES	VEGETATIVE PRACTICES

STRUCTURAL PRACTICES	VEGETATIVE PRACTICES

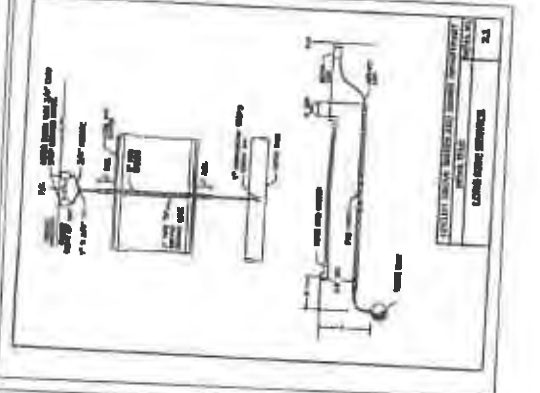
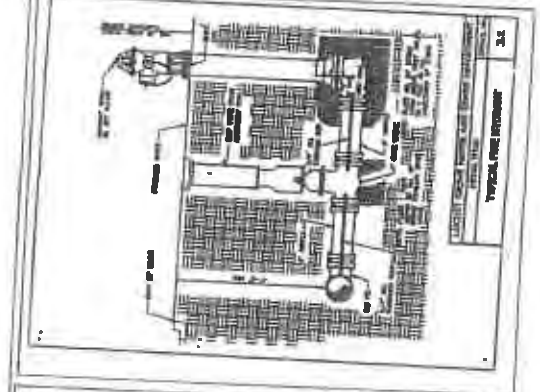
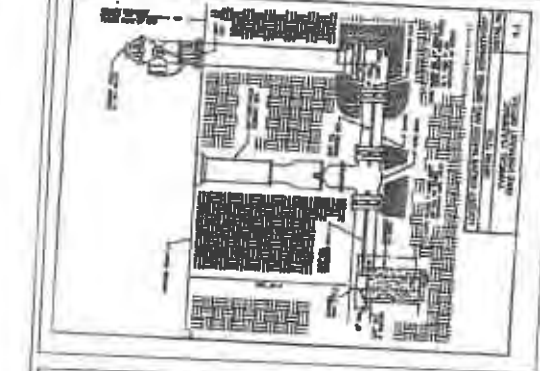
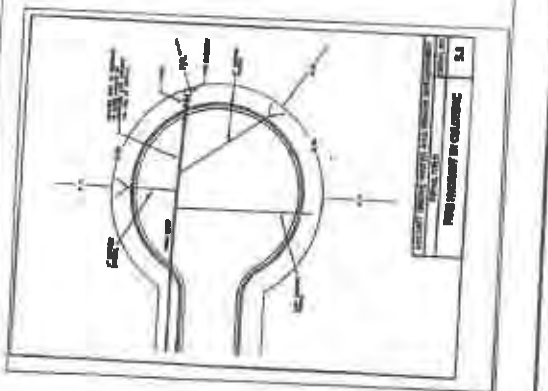
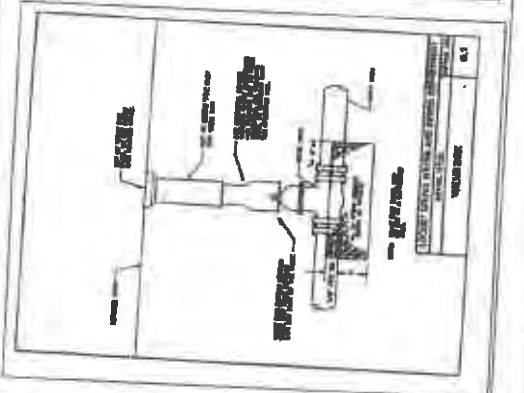
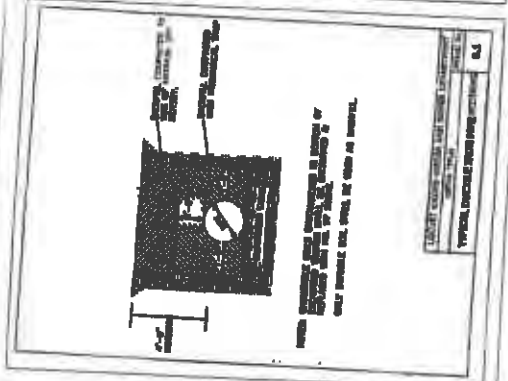
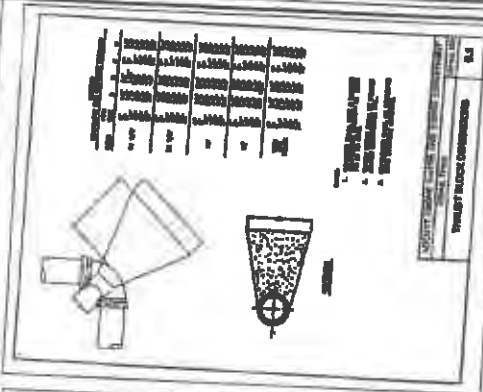
PERCIVALE ROAD SUBDIVISION
CONSTRUCTION DETAILS
 CITY OF LAURENS GOVERNMENT COUNTY, GA
 DATE: _____
 DRAWN BY: _____
 CHECKED BY: _____
 APPROVED BY: _____
 ANY AND ALL CHANGES TO THIS DRAWING SHALL BE MADE BY THE ENGINEER AND NOT THE CONTRACTOR. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE ACCURACY OF THE INFORMATION PROVIDED ON THIS DRAWING.

REV	DATE	DESCRIPTION

WHITLEY ENGINEERING INC.
 PROJECT: PERCIVALE ROAD
 DESIGN: MTD
 17094-C-0256 20
 2 MAIN STREET N.
 HAYDON, GA 30225



SEAL OF THE PROFESSIONAL ENGINEER
 STATE OF GEORGIA
 LICENSE NO. 10000
 WHITLEY ENGINEERING INC.
 17094-C-0256 20
 2 MAIN STREET N.
 HAYDON, GA 30225



PERVILLE ROAD SUBDIVISION
CONSTRUCTION DETAILS

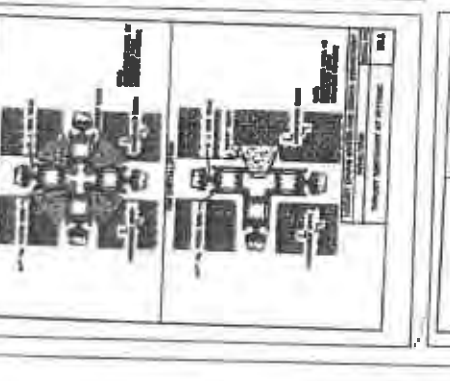
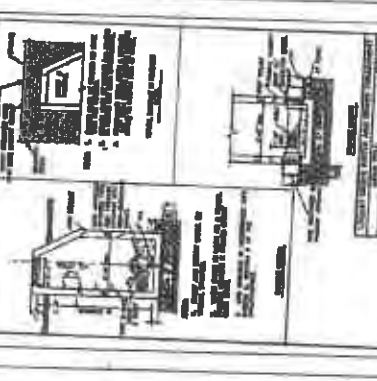
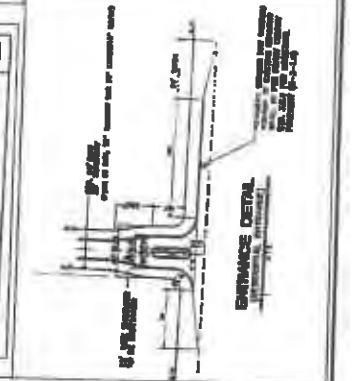
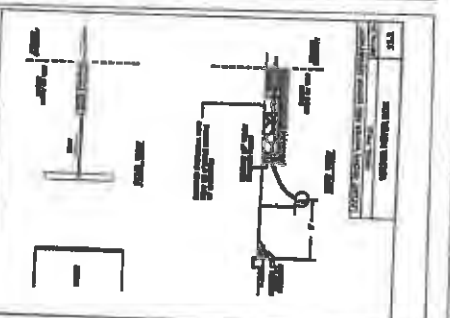
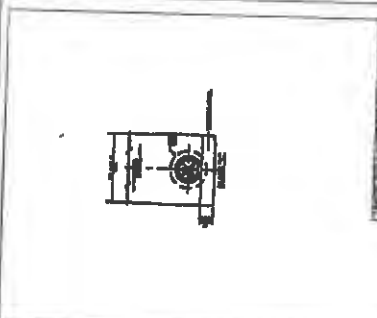
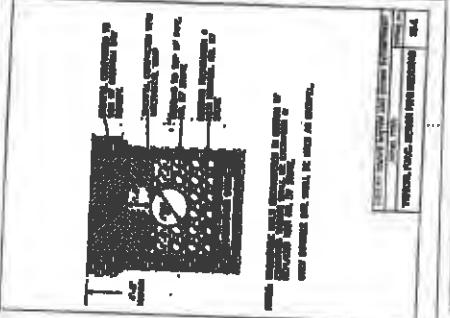
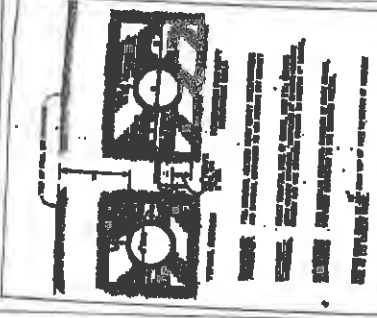
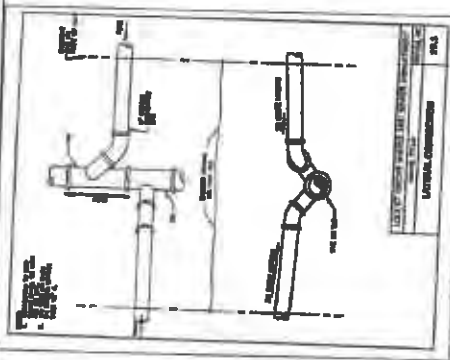
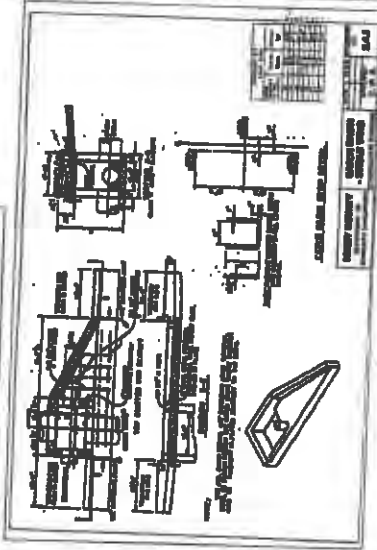
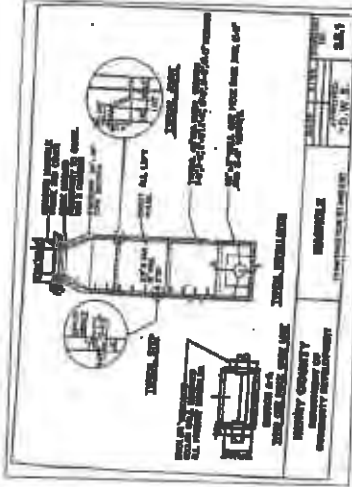
CITY OF LOUISIANA PARISH AND CALIBRE COUNTY, LA
DATE: 05/17/05
JOB NUMBER: 05-17-05
SCALE: AS SHOWN
DRAWN BY: J. W. E.
CHECKED BY: J. W. E.
DATE: 05/17/05
SCALE: AS SHOWN

REV.	DATE	DESCRIPTION

WHITLEY
ENGINEERING INC.
DESIGN WORK
PROJECT MANAGEMENT
TEL: (770) 464-0256 X30
E. MAIN STREET N.
HAWTON, GA 30028



SCALE: AS SHOWN
DATE: 05/17/05
DRAWN BY: J. W. E.
CHECKED BY: J. W. E.
DATE: 05/17/05
SCALE: AS SHOWN



PERKINSVILLE ROAD SUBDIVISION
 CONSTRUCTION DETAILS

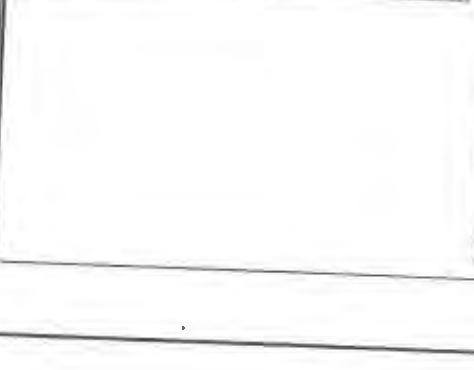
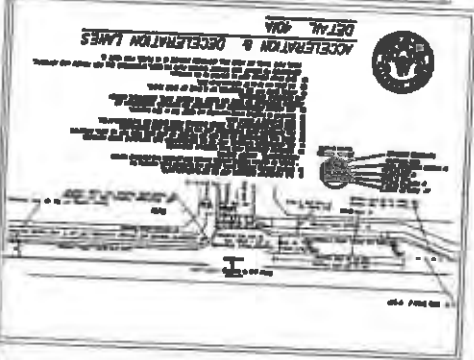
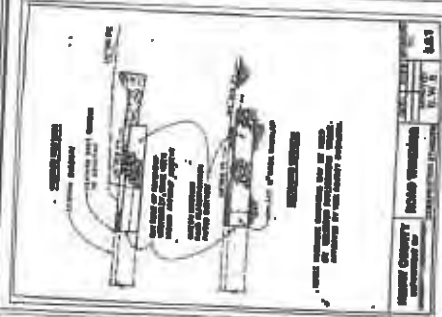
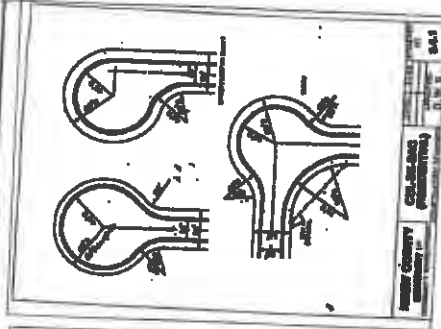
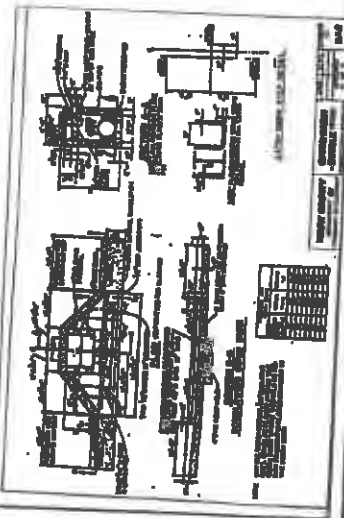
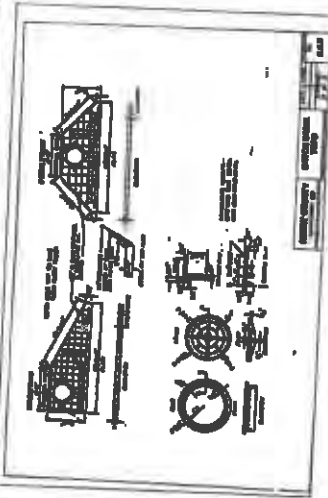
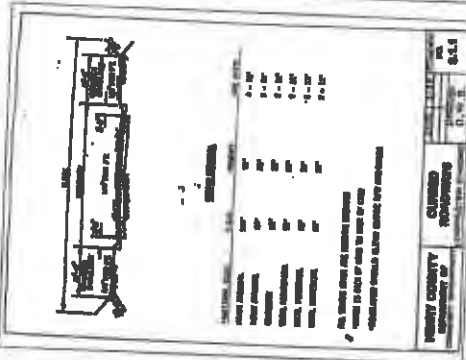
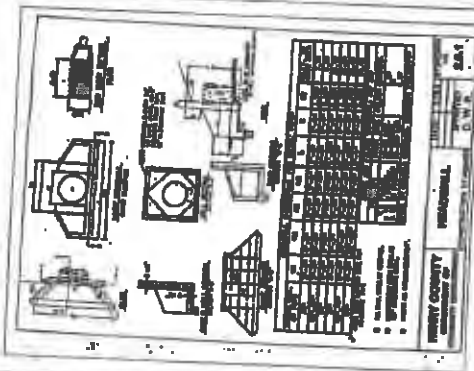
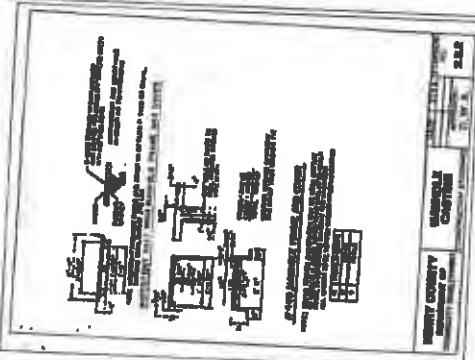
DATE OF ISSUE: 08/15/2011
 DRAWN BY: J. W. BROWN
 CHECKED BY: J. W. BROWN
 PROJECT NO.: 11-0001

REV. DATE: 08/15/2011
 DESCRIPTION: PERKINSVILLE ROAD SUBDIVISION

WHITE ENGINEERING INC.
 DESIGN PROJECT
 2100 W. MAIN STREET N.
 HANFORD, GA 30525
 TEL: (770) 464-0256
 FAX: (770) 464-0257



WHITE ENGINEERING INC.
 2100 W. MAIN STREET N.
 HANFORD, GA 30525
 TEL: (770) 464-0256
 FAX: (770) 464-0257





Administration Department

P. O. Box 900
Locust Grove, Georgia 30248

Phone: (770) 957-5043
Facsimile: (866) 364-0996

Item Coversheet

Item: T-SPLOST List / IGA

Action Item: Yes No

Public Hearing Item: Yes No

Executive Session Item: Yes No

Advertised Date: N/A

Budget Item: Yes, New Fund in FY 2022

Date Received: June 30, 2021

Workshop Date: NA

Regular Meeting Date: July 6, 2021

Discussion:

Attached is the draft T-SPLOST list for the Joint Henry County/Cities Transportation sales tax. As you remember, there were issues expressed by the Council which had to happen prior to serious consideration of participation in this item, namely the completion of SDS (Service Delivery Strategy), and the resolution on the Bethlehem Road Interchange expenditures from SPLOST IV. Both of those are now complete, with the recent presentation by Henry County of \$5 million along with the City's \$1 million for this now \$120 million project.

The attached project list now more closely aligns some of the discussion from the recent mini-retreat with the bulk of the expenditures centered on the outcome of the Planning Study along SR 42 by GDOT and the City, with the next largest amount designated for general repaving of streets throughout all areas of the city. Staff used our analysis from Roadbotics to select roads/segments that were either classified "marginal" or "bad" by visual conditions with some grouping by subdivision or by major traffic volume. The goal is to work on getting up to 20% of the road milage paved during the T-SPLOST life.

Along with the amounts, we are suggesting to bond most of the list for immediate action.

Recommendation:

Discussion

T-SPLOST - City of Locust Grove

Bonding Projects

Updated Draft List of Projects

Updated June 2021 for current T-SPLOST situation

Category	Tier	Total T-SPLOST	Bond
MAJOR MOBILITY			
Roads, Bridges, and other Transportation Facilities		\$ 7,250,000.00	\$ 7,050,000.00
State Route 42 Congestion Relief Projects	1	\$ 3,500,000.00	\$ 3,500,000.00
<i>Working with Henry County and GDOT, begin expedited projects related to the PI# 0017770 PE on SR 42 between Colvin Drive and MLK, Jr. Blvd, including parallel roads, grade-separated crossings, operational/safety improvements and additional capacity. (To be combined with a leveraging share of funding from District 1)</i>			
Bill Gardner West Enhancements/Widening (with County)			
<i>Work on PE/Utilities/ROW between I-75 Ramps to just west of Strong Rock Parkway with Henry County and ARC to eventually widen from 2 - 4 lanes with auxilliary lanes as needed.</i>	1	\$ 500,000.00	\$ 500,000.00
State Route 42 Extra Lane - Bill Gardner to Market Place Boulevard			
<i>Install additional lane along SR 42 NB btween Bill Gardner Parkway and Market Place Boulevard to provide for adequate receiving lane widths for intersection and provision of turning movements along SR 42 along this section.</i>	1	\$ 900,000.00	\$ 900,000.00
Resurfacing Projects - Targeted Areas			
<i>Asphalt resurfacing of city streets, with examples of LG-Griffin Road, Jackson Street, subdivisions, etc.</i>	1	\$ 2,150,000.00	\$ 2,150,000.00
<i>Including (but limited to) our Higher Priority Streets: Highpoint Lane (0.12), Brentwood Lane (0.2), Stonewall Lane (0.12), Grove Creek Drive (0.25), Gettysburg Way (0.5), Paul Revere (0.2), Massey Lane (0.25), Harris Avenue (0.5), Patriot's Point Street (1.2), Palmetto Street (.25), N. Jackson Street (0.5), Cleveland St. (.25), Indian Creek Road (0.25), Ferguson Ave. (0.33), Linden Park Streets (0.75), Sarah's Lane (.25), Stonewall (.15), Water's Edge Dr. (0.2), Sims St./Square Circle (0.25), S. Jackson Street (0.5), Grove Park Streets (.75)</i>			
Signal/Intersection Improvement - SR 42 and Bethlehem Road			
<i>Study and develop concept plans/plans for Signalized Intersection or alternate as warranted by study for the Highway 42 and Bethelhem Road intersection pending outcome of Bethlehem Road Interchange work (Temp vs. Permanent)</i>	1	\$ 200,000.00	
Bikeway / Pathway Network(Shared System)			
Bicycle Shared Use Areas	2	\$ 250,000.00	\$ -
<i>Develop rudimentary network of bicycle-friendly areas for shared use ("Sharrows", signage) to provide linkages between key points of interest. Also continue from Comprehensive Trails Plan for short high-use segments.</i>			
Subtotal Bikeway/Pathway		\$ 250,000.00	\$ -
Grand Total		\$ 7,500,000.00	\$ 7,050,000.00

**STATE OF GEORGIA
COUNTY OF HENRY**

**TRANSPORTATION SPECIAL PURPOSE LOCAL OPTION SALES TAX
INTERGOVERNMENTAL AGREEMENT**

This Intergovernmental Agreement (the “Agreement”) is made this _____ day of _____, 2021__ by and between Henry County, Georgia (hereinafter the “County”), a political subdivision of the State of Georgia, and the City of Hampton, Georgia, a municipal corporation, the City of Locust Grove, Georgia, a municipal corporation, the City of McDonough, a municipal corporation, and the City of Stockbridge, Georgia, a municipal corporation, (hereinafter the “Municipalities” or “Cities”), acting pursuant to validly adopted resolutions by their respective governing bodies. The County and the Municipalities do hereby agree as follows:

W I T N E S S E T H:

WHEREAS, Article 5A of Chapter 8 of Title 48 of the Official Code of Georgia Annotated, as amended (the “Act”), authorizes the imposition of a Single County Transportation Special Purpose Local Options Sales and Use Tax (the “TSPLOST”) to fund authorized transportation purposes for the use and benefit of the County and qualified municipalities within the County; and

WHEREAS, in accordance with Section 48-8-262(a)(1) of the Act, the parties have determined that the majority of counties in the region served by the Northeast Georgia Regional Commission have not proposed a referendum on a regional transportation special purposes sales and use tax; and

WHEREAS, the governing authorities County and the Municipalities met together on _____, 2021 to discuss possible projects and purposes for inclusion in the TSPLOST referendum in substantial conformity with the requirements of Section 48-8-262(a)(2) of the Act; and

WHEREAS, the County and the Municipalities desire to execute an intergovernmental agreement memorializing their agreement on the levy of the TSPLOST and the rate of such tax; and

WHEREAS, the County proposes to issue general obligation debt in the amount of \$ _____ to fund some of the Projects defined herein;

NOW THEREFORE, in consideration of the premises and undertakings hereinafter set forth, it is agreed by and between the County and the Municipalities as follows:

Section 1. Representation of the Parties. Each party hereto makes the following representations and warranties which are specifically relied upon by all other parties as a basis for entering this Agreement:

(a) The County agrees that it will take all actions necessary to call an election, to be held in all the voting precincts in the County on November 2, 2021, for the purpose of submitting to the qualified voters of the County for their approval, the question of whether or not a TSPLOST of one percent shall be imposed on all sales and uses subject to the sales and use tax in the special district of Henry County, as authorized by the Act for up to 20 calendar quarters (five years) commencing on April 1, 2021 for the purpose of funding specified Projects (hereinafter more fully referred to and defined), and whether or not the County shall be authorized to issue general obligation debt in the principal amount of \$ _____ to finance certain of the Projects. The amount of money to be raised by the TSPLOST is estimated to be \$ _____.

(b) The Municipalities are legally chartered municipal corporations as defined by law and judicial interpretation and are each a “qualifying municipality” as such term is defined in the Act. During a public meeting of its governing board, each conducted in compliance with the Open Meetings Act, O.C.G.A. § 50-14-1, et seq., each of the Municipalities validly approved the execution of this Agreement.

(c) The County is a political subdivision of the State of Georgia created and existing under the Constitution and laws of the State. During a public meeting conducted in compliance with the Open Meetings Act, O.C.G.A. § 50-14-1, et seq., the County approved the execution of this Agreement.

(d) It is the intention of the County and the Municipalities to comply in all respects with O.C.G.A. § 48-8-260 et seq., and all provisions of this Agreement shall be construed in light of O.C.G.A. § 48-8-260, et seq.

Section 2. Conditions Precedent. The obligations of all parties under this Agreement are conditioned upon the following prior events:

(a) The adoption of a resolution by the Board of Commissioners of Henry County authorizing the imposition of the TSPLOST and calling the necessary election in accordance with the provisions of Section 48-8-262(d) of the Act.

(b) The approval of the TSPLOST by a majority of the voters in the County voting in the election (for those purposes) to be held in accordance with the provisions of Section 48-8-263 of the Act.

(c) This Agreement is further conditioned upon the collection of TSPLOST revenues

by the State of Georgia Department of Revenue and its transfer of the same to the County.

Section 3. Rate of Tax; Estimated Amount; Effective Date and Term of the Tax. The TSPLOST, subject to approval in an election to be held on November 2, 2021, shall be imposed at the rate of **one percent (1%)**. The total estimated dollar amount is \$ _____ (after deduction of collection fees by the State of Georgia Department of Revenue), which shall be the maximum amount to be raised by the TSPLOST. The maximum period of time for which the tax may be imposed is five years, beginning on April 1, 2021.

Section 4. Effective Date and Term of This Agreement. This Agreement shall commence upon the date of its execution and shall terminate upon the latter of:

- (a) The official declaration by the Board of Elections and Registration of Henry County of the failure of the election described in this Agreement; or
- (b) The expenditure by the County and the Municipalities of the last dollar of money collected from the TSPLOST even if such expenditure is made after the expiration of the TSPLOST collection period.

Section 5. Purposes and Projects, Priority and Order of Funding.

(a) In recognition of the need for transportation improvements across the County and the City, the parties agree that the total net proceeds shall be utilized for the following transportation purposes (the "Purposes"): **roads, bridges, public transit, and all accompanying infrastructure and services necessary to provide access to these transportation facilities.**

(b) The transportation projects to be funded in whole or in part from TSPLOST proceeds (the "Projects"), are listed in Exhibit A which is attached hereto and made part of this Agreement. The parties acknowledge and agree that at least 30% of the estimated revenues are being expended on Projects that are consistent with the Statewide Strategic Transportation Plan as defined in O.C.G.A. § 32-2-22(a)(6).

(c) All Projects and Purposes described herein shall be funded from proceeds from the TSPLOST as provided in this Agreement, provided, however, that in the event that the actual proceeds are insufficient to fully fund the actual cost of all Projects and Purposes, then the Projects and Purposes shall be funded in the order of priority specified in Exhibit A, and no party shall be obligated to fund any Project or Purpose from revenues other than TSPLOST collections. Subject to the funding priority stated above, each party shall have the sole discretion to reduce the scope of a Project in the event of a funding shortfall.

Section 6. TSPLOST Funds; Separate Accounts; No Commingling.

(a) A special fund or account shall be created by the County and designated as the 2022 Henry County Transportation Special Purpose Local Option Sales Tax Fund ("County TSPLOST Fund"). The County shall select a local bank which shall act as a depository

and custodian of the County TSPLOST Fund upon such terms and conditions as may be acceptable to the County.

(b) Each Municipality shall create a special fund to be designated as the 2022 [*Municipality name*] Transportation Special Purpose Local Option Sales Tax Fund. Each Municipality shall select a local bank which shall act as a depository and custodian of the TSPLOST proceeds received by each Municipality upon such terms and conditions as may be acceptable to the Municipality.

(c) All TSPLOST proceeds shall be maintained by the County and each Municipality in the separate accounts or funds established pursuant to this Section. Except as provided in Section 7, TSPLOST proceeds shall not be commingled with other funds of the County or Municipalities and shall be used exclusively for the purposes detailed in this Agreement. No funds other than TSPLOST proceeds shall be placed in such accounts.

Section 7. Procedure for Disbursement of TSPLOST Proceeds.

(a) Upon receipt by the County of TSPLOST proceeds collected by the Georgia Department of Revenue, the County shall promptly deposit said proceeds in the County TSPLOST Fund. The monies in the County TSPLOST Fund shall be held and applied to the cost of acquiring, constructing, and installing the Transportation Projects for the County listed in Exhibit A or, where applicable, disbursed to the Municipalities as provided in subsections (b) and (c).

(b) All funds received by the County from the Georgia Department of Revenue from the imposition of the TSPLOST shall be apportioned by the County according to the figures provided herein. The figures set forth herein are binding and not subject to change or modification except upon written agreement by all parties. The County, following the deposit of the TSPLOST proceeds in the County TSPLOST Fund, shall, within 10 business days, disburse the TSPLOST proceeds due to each Municipality according to subsection (c) [; provided that, to the extent there is any outstanding City Finance Obligation (as defined in Section 11), the County shall first apply the TSPLOST proceeds of the applicable Municipality toward any debt service payments attributable to the City Finance Obligation.] The proceeds shall be promptly deposited in the separate funds established by each Municipality in accordance with Section 6 of this Agreement. The monies in each Municipality's TSPLOST Fund shall be held and applied to the cost of acquiring, constructing, and installing the Municipal Transportation Projects listed for that Municipality in Exhibit A.

(c) The parties will divide the monthly actual proceeds as follows:

- | | | |
|--------------------------|-------|---|
| 1. Henry County: | _____ | % |
| 2. City of Hampton: | _____ | % |
| 3. City of Locust Grove: | _____ | % |
| 4. City of McDonough: | _____ | % |
| 5. City of Stockbridge: | _____ | % |

Section 8. Project Monitoring, Record-Keeping and Reporting, Audits.

- (a) All parties to this Agreement shall promptly move forward with the acquisition, construction, equipage and installation of the Projects in an efficient and economical manner and at a reasonable cost in conformity with all applicable laws, ordinances, rules and regulations of any governmental authority having jurisdiction over the Projects.
- (b) The governing authority of the County and the governing authority of each of the Municipalities shall comply with the requirements of O.C.G.A. § 48-8-269.5(a)(2), which requires that certain information be included in the annual audit of the County or each of the Municipalities. During the term of this Agreement, the distribution and use of all TSPLOST proceeds deposited in the TSPLOST Fund and each Municipal TSPLOST Fund shall be audited annually by an independent certified public accounting firm. The County and Municipalities agree to cooperate with the independent certified public accounting firm in any audit by providing all necessary information. Each Municipality shall provide the County a copy of their annual audit.
- (c) The governing authority of the County and the governing authority of each of the Municipalities shall comply with the requirements of O.C.G.A. § 48-8-269.6, which requires the publication of annual reports concerning expenditures for the Projects.
- (d) The County and Municipalities agree to maintain thorough and accurate records concerning receipt of TSPLOST proceeds and expenditures for each Project undertaken by the County or respective Municipality as required to fulfill the terms of this Agreement

Section 9. Completion of Projects.

- (a) The County and the Municipalities acknowledge that the costs shown for each Project described in Exhibit A are estimated amounts.
- (b) If a County Project has been satisfactorily completed at a cost less than the estimated cost listed for that Project in Exhibit A, the County may apply the remaining unexpended funds to any other County Project in Exhibit A.
- (c) If a Municipal Project has been satisfactorily completed at a cost less than the estimated cost listed for that Project in Exhibit A, the Municipality may apply the remaining unexpended funds to any other Project included for that Municipality in Exhibit A.
- (d) The County and the Municipalities agree that each approved TSPLOST Project associated with this Agreement shall be completed or substantially completed within five years after the termination of the TSPLOST collection period. Any TSPLOST proceeds held by a County or Municipality at the end of the five-year period shall, for the purposes of this Agreement, be deemed excess funds and disposed of according to O.C.G.A. § 48-8-269.5(f)(2).

Section 10. Certificate of Completion and Termination. Within thirty (30) days after the acquisition, construction or installation of a Municipal Project listed on Exhibit A is completed, the Municipality owning the Project shall file with the County a certificate of completion signed by the mayor or other chief elected official of the respective Municipality, setting forth the date on which the Project was completed and the final cost of the Project.

Section 11. The County Debt.

(a) The TSPLOST election ballot shall contain language required by the Act for the authorization of general obligation County debt in the principal amount of \$_____.

[Option 1] [The County may use the proceeds of its debt for the purpose of funding County Projects, paying capitalized interest (if any), and paying the cost of issuing its debt. The County acknowledges that it is solely responsible for the payment of its debt, including any and all costs, interest, and fees associated therewith.]

[Option 2] [The County shall use the proceeds of its debt to first pay the cost of issuing the debt. Then it shall disburse \$_____ of the proceeds of the debt issuance to the City of _____ and retain the remainder. The amount disbursed to the City of _____ and all interest and fees associated therewith, plus the City's pro-rata share of the cost of issuing the debt, shall be the "City Finance Obligation." The City of _____ will be responsible for providing the County with funds sufficient to satisfy the City Finance Obligation. The amount disbursed to the County and all interest and fees associated therewith, plus the County's pro-rata share of the cost of issuing the debt, shall be the "County Finance Obligation". The County will be solely responsible for the County Finance Obligation.]

(b)

[Option 1] The County's debt shall be paid first from the proceeds of its portion of the TSPLOST. In the event that there are insufficient TSPLOST collections to pay the debt from its portion of the proceeds, the County shall pay any shortfall attributable to the debt from its general fund (the "Debt Service Payments"). The County covenants that, in order to make the Debt Service Payments when due from its general funds to the extent required, it will exercise its power of taxation to the extent necessary to timely pay any amounts required to be paid hereunder and it will make available and use for such payments all taxes levied and collected for that purpose together with funds from any other source. The County further covenants and agrees that in order to make funds available for such purpose, it will, in its general revenue, appropriation, and budgetary measures whereby its tax funds or revenues and the allocation thereof are controlled or provided for, include sums sufficient to timely satisfy such Debt Service Payments that may be required to be made from the general funds, whether or not any other sums are included in such measure, until all payments so required to be made shall have been made in full. The obligation of the County to make any payments that may be required to be made from its general funds shall

constitute a general obligation of the County and a pledge of full faith and credit of the County to provide the funds required to timely fulfill any such obligation.

[Option 2] The City Finance Obligation shall be paid first from the proceeds of the City of _____'s portion of the TSPLOST, and the County Finance Obligation shall be paid first from the proceeds of the County's portion of the TSPLOST. In the event that there are insufficient TSPLOST collections to pay the debt service on the City Finance Obligation or County Finance Obligation, the City of _____ or County (as applicable) shall pay any shortfall from its general fund ("Debt Service Payments"). The City of _____ and the County each separately covenant that, in order to make Debt Service Payments when due from its general funds to the extent required, it will exercise its power of taxation to the extent necessary to timely pay any amounts required to be paid hereunder and it will make available and use for such payments all taxes levied and collected for that purpose together with funds from any other source. The City of _____ and the County each further covenant and agree that in order to make funds available for such purpose, it will, in its general revenue, appropriation, and budgetary measures whereby its tax funds or revenues and the allocation thereof are controlled or provided for, include sums sufficient to timely satisfy such Debt Service Payments that may be required to be made from the general funds, whether or not any other sums are included in such measure, until all payments so required to be made shall have been made in full. The obligation of the City of _____ or the County (as applicable) to make any payments that may be required to be made from its general funds shall constitute a general obligation of that entity and a pledge of that entity's full faith and credit to provide the funds required to timely fulfill any such obligation.

(c) In the event for any reason such provision or appropriation is not made as provided in the preceding paragraphs, then the fiscal officer of the County or City (as applicable) is hereby authorized and directed to set up as an appropriation on its accounts in the appropriate fiscal year the amounts required to timely pay the obligations which may be due from the general funds. The amount of such appropriation shall be due and payable and shall be expended for the purpose of paying any such obligations, and such appropriation shall have the same legal status as if the County (or City) had included the amount of the appropriation in its general revenue, appropriation, and budgetary measures, and the fiscal office of the County (or City) shall immediately make such Debt Service Payments to the paying agent for the debt if for any reason the payment of such obligations shall not otherwise have been timely made.

(e) The obligations of the County and City of _____ to make Debt Service Payments and to perform and observe the other agreements on its part contained in this Section 11 shall be absolute and unconditional. Until such time as the principal of and interest on the debt shall have been paid in full or provision for the payment thereof shall have been made, the County and City of _____ (a) will not suspend or discontinue any payments provided for herein, (b) will perform and observe all of its other agreements contained in this Agreement, and (c) will not terminate this Agreement for any cause, including, without limiting the generality of the foregoing, failure to complete any Project, a defect in any Project, or any failure of any other party to this Agreement to observe, whether express or implied, any duty, liability or obligation arising out of or connected with this Agreement.

(f) The County will be responsible for all facets of the debt issuance and repayment process. The County will select the underwriter, bond counsel, local counsel, etc. The County will endeavor in good faith to be fiscally responsible in minimizing to the extent possible the costs and fees with the debt issuance process. **The Municipalities are not issuing any bonds or other indebtedness associated with this Agreement.**

Section 12. Expenses. The County shall administer the County TSPLOST Fund to effectuate the terms of this Agreement. Furthermore, the County and the Municipalities shall be jointly responsible on a pro rata basis for the cost of holding the TSPLOST election. The County shall be reimbursed for the Municipalities' share of such costs.

Section 13. Default. The failure of any party to perform its obligations under this Agreement shall constitute an event of default.

Section 14. Liability for Noncompliance. The County and the Municipalities shall comply with all applicable local, State, and Federal statutes, ordinances, rules and regulations. In the event that any Municipality fails to comply with the requirements of the Act (O.C.G.A. § 48-8-260 et seq.), the County shall not be held liable for such noncompliance. No consent or waiver, express or implied, by any party to this Agreement, to any breach of any covenant, condition or duty of another party shall be construed as a consent to, or waiver of, any future breach of the same.

Section 15. Counterparts. This Agreement may be executed in several counterparts, each of which shall be deemed an original and all of which together shall constitute one and the same instrument.

Section 16. Governing Law. This Agreement and all transactions contemplated hereby shall be governed by, and construed and enforced in accordance with the laws of the State of Georgia.

Section 17. Severability. Should any provision of this Agreement or application thereof to any person or circumstance be held invalid or unenforceable, the remainder of this Agreement or the application of such provision to any person or circumstance, other than those to which it is held invalid or unenforceable, shall not be affected thereby, and each provision of this Agreement shall be valid and enforceable to the full extent permitted by law.

Section 18. Entire Agreement. This Agreement embodies and sets forth all the provisions and understandings between the parties relative to the Projects. There are no provisions, agreements, understandings, representations, or inducements, either oral or written, between the parties other than those hereinabove set forth. Any and all prior provisions, agreements, contracts or understandings, either oral or written, between the parties relative to the Projects are hereby rescinded and superseded by this Agreement.

Section 19. Amendments. This Agreement shall not be amended or modified except by agreement in writing executed by the governing authorities of the County and the Municipalities.

Section 20. Notices. All notices, demands or requests required or permitted to be given pursuant to this Agreement shall be in writing and shall be deemed to have been properly given or served and shall be effective on being deposited or placed in the United States mail, postage prepaid and registered or certified with return receipt requested to the addresses appearing below, or when delivered by hand to the addresses indicated below:

- (a) Henry County Board of Commissioners

Attention: County Manager

- (b) City of Hampton

Attention: City Manager

- (c) City of Locust Grove

Attention: City Manager

- (d) City of McDonough

Attention: City Manager

- (e) City of Stockbridge

Attention: City Manager

IN WITNESS WHEREOF, all parties hereto agree.

[SIGNATURES ON FOLLOWING TWO PAGES]

CITY OF LOCUST GROVE

(CITY SEAL)

By: _____
Mayor

Attest:

City Clerk

Date

CITY OF MCDONOUGH

(CITY SEAL)

By: _____
Mayor

Attest:

City Clerk

Date

CITY OF STOCKBRIDGE

(CITY SEAL)

By: _____
Mayor

Attest:

City Clerk

Date

EXHIBIT A

TSPLOST proceeds, to the extent available, shall be allocated to the Purposes and Projects shown in the table below. The projects are all of equal priority and may be funded in any order, in the discretion of the responsible party. For joint City-County projects (identified below), the parties shall cooperate in good faith to decide on funding and construction priority. After all Projects are fully funded, any excess TSPLOST proceeds shall be allocated as provided by O.C.G.A. § 48-8-269.5.

	Project	Purpose	Estimated Cost
Henry County			
City of Hampton			
City of Locust Grove			
City of McDonough			
City of Stockbridge			
			Total: \$



Administration Department

P. O. Box 900
Locust Grove, Georgia 30248

Phone: (770) 957-5043
Facsimile: (866) 364-0996

Item Coversheet

Item: FY 2021 Budget Update – Half Year

Action Item: Yes No

Public Hearing Item: Yes No

Executive Session Item: Yes No

Advertised Date: N/A

Budget Item: Yes, Various Funds and Revenue

Date Received: June 16, 2021

Workshop Date: June 21, 2021

Regular Meeting Date: July 6, 2021

Discussion:

We are nearing the end of a half year into the development of the budget. We are still quite positive in terms of various fund balances and expenditures with only a few exceptions. Items still outstanding are the ARPA amounts to add into the budget for accounting purposes as well as firming up SPLOST V revenue streams and any proposed changes to the rates in utilities. More will follow for the 3rd Quarter as we will be doing a 4th Quarter earlier b/c we are encumbering funds earlier to facilitate a better budget transition for FY 2022.

Recommendation:

APPROVE ORDINANCE TO REVISE THE OPERATING AND CAPITAL IMPROVEMENTS BUDGET OF THE CITY OF LOCUST GROVE FOR THE 2nd QUARTER OF THE 2021 FISCAL YEAR PURSUANT TO SECTIONS 6.35 AND 6.36 OF THE CITY CHARTER.

ORDINANCE NO. _____

TO REVISE THE OPERATING AND CAPITAL IMPROVEMENTS BUDGET OF THE CITY OF LOCUST GROVE FOR THE 2nd QUARTER OF THE 2021 FISCAL YEAR PURSUANT TO SECTIONS 6.35 AND 6.36 OF THE CITY CHARTER; TO PROVIDE FOR ADDITIONAL UNAPPROPRIATED FUNDS FOR CERTAIN OPERATING EXPENDITURES; TO AUTHORIZE THE CITY MANAGER AND CITY CLERK TO CARRY OUT ALL NECESSARY PROCEDURES TO MAKE ALL AMENDMENTS TO THE BUDGET AND OPERATE FINANCIAL OPERATIONS IN ACCORDANCE WITH THE CODE OF ORDINANCES OF THE CITY OF LOCUST GROVE; TO PROVIDE SEVERABILITY; TO REPEAL CONFLICTING ORDINANCES; TO PROVIDE AN EFFECTIVE DATE; AND FOR OTHER PURPOSES

THE COUNCIL OF THE CITY OF LOCUST GROVE HEREBY ORDAINS

SECTION 1. Amendment of Appropriations of General Funds Budget, Water and Sewer Fund Budget, Sanitation Fund, and Stormwater Fund Budget. That certain General Fund appropriation accounts are **DECREASED** a net of **\$174,750.00**; that certain Cemetery Fund appropriation accounts are **INCREASED** a net of **\$4,000.00**; that certain Hotel/Motel Fund appropriation accounts are **DECREASED** a net of **\$20,000.00**; that certain SPLOST V Fund appropriation accounts are **INCREASED** a net of **\$500,000.00**; that certain Development Impact Fee Fund appropriation accounts are **INCREASED** a net of **\$47,500.00**; that certain Water and Sewer Fund appropriation accounts are **DECREASED** a net of **\$305,000.00**; that certain Sanitation Fund appropriation accounts are **INCREASED** a net of **\$10,000.00**; and that certain Stormwater Fund appropriation accounts are **INCREASED** a net of **\$1,500.00** as shown in **Exhibit “A”**.

SECTION 2. Amendment of the Fiscal Year 2020 Budget and Capital Improvements Budget. Pursuant to Section 6.35 and 6.36 of the City Charter, the Mayor and Council hereby amends the Operating and Capital Improvements Budget of the City of Locust Grove, Georgia for the 2018 Fiscal Year, which begins January 1, 2021 and ends on December 31, 2021 as attached hereto and incorporated herein at **Exhibit “A”**.

SECTION 3. Statement of Legal Level of Control. That the “legal level of control” as defined in O.C.G.A. 36-81-3 is set at the departmental level, meaning that the City Manager in his capacity as Budget Officer is authorized to move appropriations from one line item to another within a department, but under no circumstances may expenditures or expenses exceed the amount appropriated for a department without a further Budget amendment approved by the Mayor and City Council.

SECTION 4. Statement of Lapse on All Appropriations. That all appropriations shall lapse at the end of the fiscal year.

SECTION 5. Authorization to City Manager and City Clerk. The City Manager as Budget Officer and City Clerk are hereby authorized to install the necessary Budget Amendments and carry out all necessary procedures to close out the prior year and operate financial operations of the City in accordance with the Code of Ordinances of the City of Locust Grove.

SECTION 6. Severability.

A. It is hereby declared to be the intention of the City Council that all sections, paragraphs, sentences, clauses and phrases of this Ordinance are and were, upon their enactment, believed by the City Council to be fully valid, enforceable and constitutional.

B. It is hereby declared to be the intention of the City Council that, to the greatest extent allowed by law, each and every section, paragraph, sentence, clause or phrase of this Ordinance is severable from every other Section, paragraph, sentence, clause or phrase of this Ordinance. It is hereby further declared to be the intention of the City Council that, to the greatest extent allowed by law, no section, paragraph, sentence, clause or phrase of this Ordinance is mutually dependent upon any other Section, paragraph, sentence, clause or phrase of this Ordinance.

C. In the event that any section, paragraph, sentence, clause or phrase of this Ordinance shall, for any reason whatsoever, be declared invalid, unconstitutional or otherwise unenforceable by the valid judgment or decree of any court of competent jurisdiction, it is the express intent of the City Council that such invalidity, unconstitutionality or unenforceability shall, to the greatest extent allowed by law, not render invalid, unconstitutional or otherwise unenforceable any of the remaining sections, paragraphs, sentences, clauses, or phrases of the Ordinance and that, to the greatest extent allowed by law, all remaining Sections, paragraphs, sentences, clauses, or phrases of the Ordinance shall remain valid, constitutional, enforceable, and of full force and effect.

SECTION 7. Repeal of Conflicting Provision. Except as otherwise provided herein, all ordinances or parts of ordinances in conflict with this ordinance are hereby repealed.

SECTION 8. Effective Date. This ordinance shall become effective immediately upon its adoption by the Mayor and Council of the City of Locust Grove.

SO ORDAINED this 6th day of July, 2021

ROBERT PRICE, Mayor

ATTEST:

APPROVED AS TO FORM:

MISTY SPURLING, City Clerk
(Seal)

CITY ATTORNEY

EXHIBIT "A"

**AMENDED FINAL OPERATING AND CAPITAL IMPROVEMENTS BUDGET
FOR THE CITY OF LOCUST GROVE, GEORGIA
FOR THE FISCAL YEAR 2021 – 2nd Quarter**

FUND	ACCOUNT	DESCRIPTION	Prior 2020 Initial Budget	Proposed 2021 Budget	Variance	Account	Quarter 2	YTD Bal	Adj.	Revised FY21
100	3-0000-31.1340	INTANGIBLE TAX	(40,000.00)	(40,000.00)	0.00	3-0000-31.1340	(29,542.23)	73.86%		(40,000.00)
100	3-0000-31.1350	RAILROAD EQUIPMENT TAX	(1,750.00)	(1,750.00)	0.00	3-0000-31.1350	0.00	0.00%		(1,750.00)
100	3-0000-31.1600	REAL ESTATE TRANSFERS	(20,000.00)	(23,000.00)	3,000.00	3-0000-31.1600	(9,475.05)	41.20%		(23,000.00)
100	3-0000-31.1710	FRANCHISE TAX - ELECTRIC	(315,000.00)	(325,000.00)	10,000.00	3-0000-31.1710	0.00	0.00%		(325,000.00)
100	3-0000-31.1711	CAPITAL CREDIT REFUND	0.00	0.00	0.00	3-0000-31.1711	0.00	0.00%		0.00
100	3-0000-31.1730	FRANCHISE TAX - TELECOMMUNICAT	0.00	0.00	0.00	3-0000-31.1730	0.00	0.00%		0.00
100	3-0000-31.1750	FRANCHISE TAX - CABLE TV	(75,000.00)	(90,000.00)	15,000.00	3-0000-31.1750	(21,809.47)	24.23%		(90,000.00)
100	3-0000-31.1760	FRANCHISE TAX - TELEPHONE	(20,000.00)	(20,000.00)	0.00	3-0000-31.1760	(4,053.80)	20.27%		(20,000.00)
100	3-0000-31.1790	FRANCHISE TAX - NATURAL GAS	(25,000.00)	(25,000.00)	0.00	3-0000-31.1790	(8,299.82)	33.20%		(25,000.00)
100	3-0000-31.3100	LOCAL OPTION SALES /USE TAX	(2,500,000.00)	(2,500,000.00)	200,000.00	3-0000-31.3100	(964,942.94)	38.60%		(2,500,000.00)
100	3-0000-31.3150	LOST TAVT	(89,300.00)	(100,000.00)	10,700.00	3-0000-31.3150	(39,194.59)	39.19%	-25000	(125,000.00)
100	3-0000-31.3160	AAVT - MOTOR VEHICLE	(1,000.00)	(10,000.00)	9,000.00	3-0000-31.3160	0.00	0.00%		(10,000.00)
100	3-0000-31.4200	LIQUOR TAX	0.00	0.00	0.00	3-0000-31.4200	0.00	0.00%		0.00
100	3-0000-31.4201	ALCOHOL TAX	(370,000.00)	(400,000.00)	30,000.00	3-0000-31.4201	(210,649.51)	57.66%	-25000	(425,000.00)
100	3-0000-31.6100	OCCUPATION TAXES	(300,000.00)	(400,000.00)	100,000.00	3-0000-31.6100	(180,709.63)	45.18%	50000	(350,000.00)
100	3-0000-31.6120	REGULATORY FEES	0.00	0.00	0.00	3-0000-31.6120	(16,650.00)	0.00%		0.00
100	3-0000-31.6200	INSURANCE PREMIUM TAX	(400,000.00)	(495,000.00)	95,000.00	3-0000-31.6200	0.00	0.00%		(495,000.00)
100	3-0000-32.1110	ALCOHOL BEV-BEER LICENSE	(17,500.00)	(15,000.00)	(2,500.00)	3-0000-32.1110	(8,000.00)	53.33%		(15,000.00)
100	3-0000-32.1120	ALCOHOL BEV-WINE LICENSE	(15,000.00)	(10,000.00)	(5,000.00)	3-0000-32.1120	(6,000.00)	60.00%		(10,000.00)
100	3-0000-32.1130	ALCOHOL BEV-LIQUOR LICENSE	(40,500.00)	(40,500.00)	0.00	3-0000-32.1130	(28,000.00)	69.14%		(40,500.00)
100	3-0000-32.1220	GENERAL BUS LIC -INSURANCE	(15,500.00)	(22,500.00)	7,000.00	3-0000-32.1220	(14,700.00)	65.33%		(22,500.00)
100	3-0000-32.1900	REGULATORY FEES	(32,500.00)	(30,000.00)	(2,500.00)	3-0000-32.1900	0.00	0.00%		(30,000.00)
100	3-0000-32.2120	BLDG PERMITS /INSPECTIONS -RES	(450,000.00)	(580,000.00)	130,000.00	3-0000-32.2120	(327,985.09)	56.55%	-20000	(600,000.00)
100	3-0000-32.2130	BLDG PERMIT/INSPECTIONS - COMM	(300,000.00)	(350,000.00)	50,000.00	3-0000-32.2130	(121,478.88)	34.71%		(350,000.00)
100	3-0000-32.3100	BUSINESS LICENSE PENALTY	0.00	0.00	0.00	3-0000-32.3100	0.00	0.00%		0.00
100	3-0000-33.4450	GRANT BULLET PROOF VEST	(500.00)	(500.00)	0.00	3-0000-33.4450	0.00	0.00%		(500.00)
100	3-0000-33.4500	GRANT / DONATIONS -COPS	(500.00)	(250.00)	(250.00)	3-0000-33.4500	0.00	0.00%		(250.00)
100	3-0000-33.5000	DONATION-PLAYGROUND EQUIP	0.00	0.00	0.00	3-0000-33.5000	0.00	0.00%		0.00
100	3-0000-33.6100	DONATIONS	(500.00)	0.00	(500.00)	3-0000-33.6100	0.00	0.00%		0.00
100	3-0000-33.7000	CDBG GRANT	0.00	0.00	0.00	3-0000-33.7000	0.00	0.00%		0.00
100	3-0000-34.1301	DISPOSITION OF PROPERTY	0.00	0.00	0.00	3-0000-34.1301	(61,000.00)	0.00%	-85000	(85,000.00)
100	3-0000-34.1310	ZONING INSPECTION FEES	(40,000.00)	(25,000.00)	(15,000.00)	3-0000-34.1310	(27,418.70)	109.67%	-20000	(45,000.00)
100	3-0000-34.1311	LAND DEVELOPMENT FEES	(50,000.00)	(65,000.00)	15,000.00	3-0000-34.1311	(46,811.45)	72.02%	-25000	(90,000.00)
100	3-0000-34.1312	SITE PLAN REVIEW FEES	(15,000.00)	(27,500.00)	12,500.00	3-0000-34.1312	(42,903.00)	156.01%	-35000	(62,500.00)
100	3-0000-34.1321	SOIL EROSION FEES	(500.00)	(2,500.00)	2,000.00	3-0000-34.1321	0.00	0.00%		(2,500.00)
100	3-0000-34.1323	STREET LIGHT DISTRICT REVENUE	0.00	(20,000.00)	20,000.00	3-0000-34.1323	(90.14)	0.45%		(20,000.00)
100	3-0000-34.1325	TREE REPLACEMENT REVENUE	0.00	0.00	0.00	3-0000-34.1325	0.00	0.00%		0.00
100	3-0000-34.1910	QUALIFYING FEE FOR ELECTION	(1,000.00)	(3,000.00)	2,000.00	3-0000-34.1910	(504.00)	16.80%		(3,000.00)
100	3-0000-34.1950	ACCIDENT REPORTS	(7,500.00)	(7,500.00)	0.00	3-0000-34.1950	(2,451.00)	32.68%		(7,500.00)
100	3-0000-34.1955	CRIMINAL HISTORY REPORTS	0.00	0.00	0.00	3-0000-34.1955	0.00	0.00%		0.00
100	3-0000-34.1960	ADM CHARGE ON FINES	(17,500.00)	(15,000.00)	(2,500.00)	3-0000-34.1960	(4,833.89)	32.23%		(15,000.00)
100	3-0000-34.1990	ADM CHARGE FOR INCODE	(20,000.00)	(25,000.00)	5,000.00	3-0000-34.1990	(6,762.48)	27.05%		(25,000.00)
100	3-0000-34.6100	BACKGROUND CHECK FEES	(3,000.00)	(2,000.00)	(1,000.00)	3-0000-34.6100	(1,500.00)	75.00%		(2,000.00)
100	3-0000-34.9001	DONATIONS	0.00	0.00	0.00	3-0000-34.9001	0.00	0.00%		0.00
100	3-0000-34.9300	BAD CHECK FEES	(100.00)	(100.00)	0.00	3-0000-34.9300	0.00	0.00%		(100.00)
100	3-0000-35.1170	FINES & FORFEITURES	(740,000.00)	(635,000.00)	(105,000.00)	3-0000-35.1170	(259,681.08)	40.89%		(635,000.00)
100	3-0000-35.1175	BOND ACCOUNT	0.00	0.00	0.00	3-0000-35.1175	0.00	0.00%		0.00
100	3-0000-36.1000	INTEREST REVENUES	(7,500.00)	(10,000.00)	2,500.00	3-0000-36.1000	(2,589.14)	25.89%		(10,000.00)
100	3-0000-38.1000	RENTS & ROYALTIES	(18,000.00)	(15,000.00)	(3,000.00)	3-0000-38.1000	0.00	0.00%		(15,000.00)
100	3-0000-38.1010	SPECIAL EVENT PERMIT	(730.00)	(700.00)	(30.00)	3-0000-38.1010	0.00	0.00%		(700.00)
100	3-0000-38.1025	PAVILLION RENTAL	0.00	(500.00)	500.00	3-0000-38.1025	0.00	0.00%		(500.00)
100	3-0000-38.1050	HOUSE RENTAL-LOCUST ROAD	(35,000.00)	(30,000.00)	(5,000.00)	3-0000-38.1050	(8,307.60)	27.69%		(30,000.00)
100	3-0000-38.3000	INS REIMBURSE DAMAGE PROPERTY	(14,500.00)	(10,000.00)	(4,500.00)	3-0000-38.3000	(25,023.00)	250.23%	-30000	(40,000.00)
100	3-0000-38.3100	INS REIMBURSE WKS COMP	(500.00)	(500.00)	0.00	3-0000-38.3100	0.00	0.00%		(500.00)
100	3-0000-38.3400	INS REIMBURSE FOR OVERPAYMENT	(500.00)	(500.00)	0.00	3-0000-38.3400	0.00	0.00%		(500.00)
100	3-0000-38.5000	LMIG PROGRAM	(110,000.00)	(110,000.00)	0.00	3-0000-38.5000	0.00	0.00%		(110,000.00)
100	3-0000-38.6000	SARS-COV-2 CARES Act Relief	0.00	(5,000.00)	5,000.00	3-0000-38.6000	0.00	0.00%		(5,000.00)
100	3-0000-38.9000	MISCELLANEOUS REVENUE	(10,000.00)	(5,000.00)	(5,000.00)	3-0000-38.9000	(2,709.07)	54.18%		(5,000.00)
100	3-0000-38.9010	RETURN CHECK FEES	(100.00)	(100.00)	0.00	3-0000-38.9010	0.00	0.00%		(100.00)

FUND	ACCOUNT	DESCRIPTION	Prior 2020 Initial Budget	Proposed 2021 Budget	Variance	Account	Quarter 2	YTD Bal	Adj.	Revised FY21
100	3-0000-38.9100	REFUNDS POLICE DEPT	0.00	0.00	0.00	3-0000-38.9100	0.00	0.00%		0.00
100	3-0000-38.9200	REFUNDS PUBLIC WORKS	0.00	0.00	0.00	3-0000-38.9200	0.00	0.00%		0.00
100	3-0000-38.9300	REFUNDS ADMINISTRATIONS	0.00	0.00	0.00	3-0000-38.9300	0.00	0.00%		0.00
100	3-0000-38.9900	PRIOR YEAR REVENUE	(591,890.00)	(788,540.00)	196,650.00	3-0000-38.9900	0.00	0.00%	174750	(613,790.00)
100	3-0000-38.9910	RESERVE - TRANSPORTATION	(1,000,000.00)	(1,000,000.00)	0.00	3-0000-38.9910	0.00	0.00%		(1,000,000.00)
100	3-0000-39.1100	OPERATING TRANSFERS	0.00	0.00	0.00	3-0000-39.1100	0.00	0.00%		0.00
100	3-0000-39.1210	ADMIN FEE - WATER TRANSFER IN	(325,000.00)	(400,000.00)	75,000.00	3-0000-39.1210	0.00	0.00%		(400,000.00)
100	3-0000-39.1220	ADMIN FEE - SEWER TRANSFER IN	(282,500.00)	(300,000.00)	17,500.00	3-0000-39.1220	0.00	0.00%		(300,000.00)
100	3-0000-39.1230	ADMIN FEE - SANIT TRANSFER IN	(47,000.00)	(45,250.00)	(1,750.00)	3-0000-39.1230	0.00	0.00%		(45,250.00)
100	3-0000-39.1240	ADMIN FEE - STORM TRANSFER IN	(64,500.00)	(70,000.00)	5,500.00	3-0000-39.1240	0.00	0.00%		(70,000.00)
100	3-0000-39.1250	ADMIN FEE - H/M TRANSFER IN	(84,000.00)	(90,000.00)	6,000.00	3-0000-39.1250	0.00	0.00%		(90,000.00)
100	3-0000-88.8888	DEBT PROCEEDS	0.00		0.00	3-0000-88.8888	0.00	0.00%		0.00

Total Revenue for General Fund	(8,315,870.00)	(9,187,190.00)	871,320.00	QUARTER TOTAL	(2,484,075.56)	27.04%	(9,227,440.00)
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General Fund Expenditures by Division

Division	Initial Budget	Proposed Budget	Variance	Account	Quarter 2	Difference
Administration						
Elected Officials	156,050.00	156,050.00	0.00	156,800.00	0.00	750.00
Administration	1,747,450.00	1,853,400.00	105,950.00	1,882,400.00	0.00	29,000.00
Administrative Division	1,903,500.00	2,009,450.00	105,950.00	2,039,200.00	0.00	29,750.00
Public Safety						
Municipal Court	408,650.00	387,000.00	(21,650.00)	389,500.00	0.00	2,500.00
Police	2,604,600.00	3,034,500.00	429,900.00	3,062,000.00	0.00	27,500.00
Public Safety Division	3,013,250.00	3,421,500.00	408,250.00	3,451,500.00	0.00	30,000.00
Public Works						
Street Maintenance	2,437,730.00	2,645,200.00	207,470.00	2,645,200.00	0.00	0.00
Fleet Maintenance	6,900.00	86,600.00	0.00	71,100.00	0.00	(15,500.00)
Public Works Division	2,444,630.00	2,731,800.00	207,470.00	2,716,300.00	0.00	(15,500.00)
Parks	172,500.00	61,000.00	(111,500.00)	61,000.00	0.00	0.00
Community Development	783,490.00	963,440.00	179,950.00	959,440.00	(4,000.00)	(4,000.00)
Total General Fund Expenditures	8,317,370.00	9,187,190.00	790,120.00	9,227,440.00		

FUND	ACCOUNT	DESCRIPTION	Prior 2020 Initial Budget	Proposed 2021 Budget	Variance	Account	Quarter 2	YTD Bal	Adj.	Revised FY21
100	5-1110-51.1150	MAYOR SALARY	10,800.00	10,800.00	0.00	5-1110-51.1150	5,400.00	50.00%		10,800.00
100	5-1110-51.1155	COUNCIL SALARY	50,400.00	50,400.00	0.00	5-1110-51.1155	23,100.00	45.83%		50,400.00
100	5-1110-51.2200	FICA (SOCIAL SECURITY)	900.00	900.00	0.00	5-1110-51.2200	413.25	45.92%		900.00
100	5-1110-51.2400	RETIREMENT	25,000.00	20,950.00	(4,050.00)	5-1110-51.2400	10,775.52	51.43%		20,950.00
100	5-1110-51.2750	UNEMPLOYMENT TAX - GEORGIA	650.00	500.00	(150.00)	5-1110-51.2750	52.80	10.56%		500.00
100	5-1110-52.1200	PROFESSIONAL SERVICES	1,500.00	1,000.00	(500.00)	5-1110-52.1200	0.00	0.00%		1,000.00
100	5-1110-52.1230	LEGAL	2,500.00	2,500.00	0.00	5-1110-52.1230	0.00	0.00%		2,500.00
100	5-1110-52.1301	TECHNICAL - SOFTWARE	1,000.00	7,500.00	6,500.00	5-1110-52.1301	7,458.42	99.45%	2500	10,000.00
100	5-1110-52.1302	TECHNICAL - HARDWARE	500.00	1,000.00	500.00	5-1110-52.1302	0.00	0.00%		1,000.00
100	5-1110-52.3100	RISK MANAGEMENT INSURANCE	15,000.00	17,500.00	2,500.00	5-1110-52.3100	12,310.16	70.34%	-2500	15,000.00
100	5-1110-52.3200	COMMUNICATIONS-CELL PHONES	750.00	750.00	0.00	5-1110-52.3200	202.42	26.99%		750.00
100	5-1110-52.3220	NETWORK/TELEPHONE	1,000.00	1,500.00	500.00	5-1110-52.3220	0.00	0.00%		1,500.00
100	5-1110-52.3310	PUBLIC NOTICES	500.00	500.00	0.00	5-1110-52.3310	1,260.00	252.00%	1000	1,500.00
100	5-1110-52.3500	TRAVEL MILEAGE REIMBURSEMENT	5,000.00	2,500.00	(2,500.00)	5-1110-52.3500	0.00	0.00%	-500	2,000.00
100	5-1110-52.3510	CAR ALLOWANCE FOR MAYOR	0.00	0.00	0.00	5-1110-52.3510	0.00	0.00%		0.00
100	5-1110-52.3600	DUES & FEES	300.00	500.00	200.00	5-1110-52.3600	0.00	0.00%		500.00
100	5-1110-52.3700	EDUCATION & TRAINING	0.00	0.00	0.00	5-1110-52.3700	0.00	0.00%		0.00
100	5-1110-52.3701	EDUCATION & TRAINING - MAYOR	5,000.00	5,000.00	0.00	5-1110-52.3701	0.00	0.00%		5,000.00
100	5-1110-52.3702	EDUCATION & TRAINING - TAYLOR	2,750.00	3,250.00	500.00	5-1110-52.3702	0.00	0.00%		3,250.00
100	5-1110-52.3703	EDUCATION & TRAINING - GREER	2,750.00	3,250.00	500.00	5-1110-52.3703	0.00	0.00%		3,250.00
100	5-1110-52.3706	EDUCATION & TRAINING - ASHE	2,750.00	3,250.00	500.00	5-1110-52.3706	0.00	0.00%		3,250.00
100	5-1110-52.3707	EDUCATION & TRAINING - BOONE	2,750.00	3,250.00	500.00	5-1110-52.3707	0.00	0.00%		3,250.00
100	5-1110-52.3709	EDUCATION & TRAINING BREEDLOVE	2,750.00	3,250.00	500.00	5-1110-52.3709	0.00	0.00%		3,250.00
100	5-1110-52.3710	EDUCATION & TRAINING - NEWLY E	2,750.00	1,500.00	(1,250.00)	5-1110-52.3710	325.00	21.67%		1,500.00
100	5-1110-52.3711	EDUCATION&TRAINING-SHEAROUSE	2,500.00	3,250.00	750.00	5-1110-52.3711	460.00	14.15%		3,250.00
100	5-1110-52.3750	MTGS & CONF (RETREATS /HCMA)	15,000.00	10,000.00	(5,000.00)	5-1110-52.3750	3,120.00	31.20%		10,000.00
100	5-1110-53.1105	OFFICE SUPPLIES	250.00	250.00	0.00	5-1110-53.1105	404.50	161.80%	250	500.00
100	5-1110-53.1785	UNIFORMS	1,000.00	1,000.00	0.00	5-1110-53.1785	135.17	13.52%		1,000.00
100	5-1110-54.2450	COMPUTER MAINTENANCE	0.00	0.00	0.00	5-1110-54.2450	477.19	0.00%		0.00
Total Expenditures			156,050.00	156,050.00	0.00	TOTAL QUARTER	65,894.43	42.23%	750	156,800.00

FUND	ACCOUNT	DESCRIPTION	Prior 2020 Initial Budget	Proposed 2021 Budget	Variance	Account	Quarter 2	YTD Bal	Adj.	Revised FY21
100	5-1510-51.1100	REGULAR EMPLOYEES	626,800.00	668,500.00	41,700.00	5-1510-51.1100	277,908.76	41.57%		668,500.00
100	5-1510-51.1300	OVERTIME	4,000.00	5,000.00	1,000.00	5-1510-51.1300	188.71	3.77%		5,000.00
100	5-1510-51.2100	GROUP INSURANCE	57,500.00	62,500.00	5,000.00	5-1510-51.2100	25,469.95	40.75%		62,500.00
100	5-1510-51.2200	FICA (SOCIAL SECURITY)	6,750.00	7,500.00	750.00	5-1510-51.2200	3,964.88	52.87%		7,500.00
100	5-1510-51.2400	RETIREMENT	45,000.00	40,000.00	(5,000.00)	5-1510-51.2400	19,837.62	49.59%		40,000.00
100	5-1510-51.2700	WORKER'S COMPENSATION	17,300.00	30,000.00	12,700.00	5-1510-51.2700	24,138.31	80.46%	-4000	26,000.00
100	5-1510-51.2750	UNEMPLOYMENT TAX - GEORGIA	2,500.00	2,000.00	(500.00)	5-1510-51.2750	362.34	18.12%		2,000.00
100	5-1510-52.1200	PROFESSIONAL	15,000.00	10,000.00	(5,000.00)	5-1510-52.1200	14,914.23	149.14%	20000	30,000.00
100	5-1510-52.1220	AUDITING	30,000.00	35,000.00	5,000.00	5-1510-52.1220	0.00	0.00%		35,000.00
100	5-1510-52.1230	LEGAL	130,000.00	115,000.00	(15,000.00)	5-1510-52.1230	28,111.52	24.44%		115,000.00
100	5-1510-52.1301	TECHNICAL - SOFTWARE	80,000.00	70,000.00	(10,000.00)	5-1510-52.1301	36,532.77	52.19%	10000	80,000.00
100	5-1510-52.1302	TECHNICAL - HARDWARE	20,000.00	20,000.00	0.00	5-1510-52.1302	3,773.50	18.87%	-5000	15,000.00
100	5-1510-52.1400	DRUG & MEDICAL	500.00	500.00	0.00	5-1510-52.1400	304.50	60.90%		500.00
100	5-1510-52.2210	AUTO/TRUCK EXP	2,000.00	2,000.00	0.00	5-1510-52.2210	153.20	7.66%		2,000.00
100	5-1510-52.2211	AUTO GAS & FUEL	2,250.00	2,500.00	250.00	5-1510-52.2211	2,134.41	85.38%	500	3,000.00
100	5-1510-52.2212	CAR ALLOWANCE	4,800.00	3,000.00	(1,800.00)	5-1510-52.2212	1,500.00	50.00%		3,000.00
100	5-1510-52.2240	BUILDING & GROUNDS	0.00	15,000.00	15,000.00	5-1510-52.2240	14,206.00	94.71%	10000	25,000.00
100	5-1510-52.2245	RENTAL PROP - REPAIRS	0.00	5,000.00	5,000.00	5-1510-52.2245	2,185.00	43.70%		5,000.00
100	5-1510-52.2250	OTHER EQUIP. REPAIRS/MAINT	5,000.00	7,500.00	2,500.00	5-1510-52.2250	4,198.64	55.98%		7,500.00
100	5-1510-52.2320	RENTAL OF EQUIPMENT & VEHICLE	14,500.00	10,000.00	(4,500.00)	5-1510-52.2320	1,268.21	12.68%		10,000.00
100	5-1510-52.3200	RISK MANAGEMENT INSURANCE	20,000.00	27,500.00	7,500.00	5-1510-52.3200	20,728.75	75.38%	-5000	22,500.00
100	5-1510-52.3201	COMMUNICATIONS-CELL PHONES	1,300.00	1,500.00	200.00	5-1510-52.3201	711.74	47.45%		1,500.00
100	5-1510-52.3201	TELEPHONE	5,000.00	3,000.00	(2,000.00)	5-1510-52.3201	2,766.84	92.23%		3,000.00
100	5-1510-52.3205	INTERNET	5,000.00	2,500.00	(2,500.00)	5-1510-52.3205	2,162.32	86.49%		2,500.00
100	5-1510-52.3220	NETWORK/TELEPHONE	60,000.00	60,000.00	0.00	5-1510-52.3220	14,414.16	24.02%		60,000.00
100	5-1510-52.3300	ADVERTISING	750.00	3,000.00	2,250.00	5-1510-52.3300	0.00	0.00%		3,000.00
100	5-1510-52.3310	PUBLIC NOTICES	3,000.00	2,500.00	(500.00)	5-1510-52.3310	610.00	24.40%		2,500.00
100	5-1510-52.3500	TRAVEL MILEAGE REIMBURSEMENT	3,500.00	2,500.00	(1,000.00)	5-1510-52.3500	28.67	1.15%		2,500.00
100	5-1510-52.3600	DUES & FEES	5,000.00	5,000.00	0.00	5-1510-52.3600	2,994.00	59.88%		5,000.00
100	5-1510-52.3700	EDUCATION & TRAINING	20,000.00	12,500.00	(7,500.00)	5-1510-52.3700	(1,170.00)	-9.36%		12,500.00
100	5-1510-52.3750	MEETINGS & CONFERENCE	15,000.00	10,000.00	(5,000.00)	5-1510-52.3750	492.64	4.93%		10,000.00
100	5-1510-52.3851	CONTRACTED SVCS - CITY HALL	40,000.00	40,000.00	0.00	5-1510-52.3851	500.00	1.25%		40,000.00
100	5-1510-52.3855	CONTRACTS & SPONSORSHIPS	6,500.00	7,000.00	500.00	5-1510-52.3855	0.00	0.00%		7,000.00
100	5-1510-52.3970	POSTAGE	15,000.00	20,000.00	5,000.00	5-1510-52.3970	8,832.36	44.16%		20,000.00
100	5-1510-53.1105	OFFICE SUPPLIES	10,000.00	10,000.00	0.00	5-1510-53.1105	2,980.16	29.80%		10,000.00
100	5-1510-53.1107	BANK & CREDIT CARD CHARGES	22,500.00	22,500.00	0.00	5-1510-53.1107	5,190.49	23.07%		22,500.00
100	5-1510-53.1108	CHECK FRAUD PROVISION	0.00	0.00	0.00	5-1510-53.1108	0.00	0.00%		0.00
100	5-1510-53.1160	OPERATING EQUIPMENT	1,200.00	1,200.00	0.00	5-1510-53.1160	0.00	0.00%		1,200.00
100	5-1510-53.1161	GIFTS & FLOWERS	3,000.00	3,000.00	0.00	5-1510-53.1161	2,809.53	93.65%	2500	5,500.00
100	5-1510-53.1164	COVID-19 SUPPLIES	0.00	2,500.00	2,500.00	5-1510-53.1164	530.50	21.22%		2,500.00
100	5-1510-53.1165	DISASTER RELIEF SUPPLIES	0.00	500.00	500.00	5-1510-53.1165	92.29	18.46%		500.00
100	5-1510-53.1205	UTILITIES	32,000.00	30,000.00	(2,000.00)	5-1510-53.1205	15,931.27	53.10%		30,000.00
100	5-1510-53.1210	STORMWATER FEES	1,500.00	1,500.00	0.00	5-1510-53.1210	0.00	0.00%		1,500.00
100	5-1510-53.1700	OTHER SUPPLIES	5,500.00	5,500.00	0.00	5-1510-53.1700	1,584.99	28.82%		5,500.00
100	5-1510-53.1728	MAYORS MOTORCADE	1,200.00	1,200.00	0.00	5-1510-53.1728	0.00	0.00%		1,200.00
100	5-1510-53.1729	CITY EVENTS	7,500.00	10,000.00	2,500.00	5-1510-53.1729	1,025.00	10.25%		10,000.00

Administration
Admin. Division

FUND	ACCOUNT	DESCRIPTION	Prior 2020 Initial Budget	Proposed 2021 Budget	Variance	Account	Quarter 2	YTD Bal	Adj.	Revised FY21
100	5-1510-53.1785	UNIFORMS	2,100.00	2,500.00	400.00	5-1510-53.1785	433.70	17.35%		2,500.00
100	5-1510-53.1790	ELECTION EXPENSE	3,000.00	5,000.00	2,000.00	5-1510-53.1790	0.00	0.00%		5,000.00
100	5-1510-53.1795	MISCELLANEOUS	0.00	0.00	0.00	5-1510-53.1795	0.00	0.00%		0.00
100	5-1510-54.1100	ACQUISITION OF PROPERTY	22,500.00	150,000.00	127,500.00	5-1510-54.1100	400.00	0.27%		150,000.00
100	5-1510-54.1310	RENOVATIONS TO CITY HALL	200,000.00	100,000.00	(100,000.00)	5-1510-54.1310	0.00	0.00%		100,000.00
100	5-1510-54.2200	VEHICLES	0.00	0.00	0.00	5-1510-54.2200	0.00	0.00%		0.00
100	5-1510-54.2300	FURNITURE & FIXTURES	20,000.00	20,000.00	0.00	5-1510-54.2300	1,706.15	8.53%		20,000.00
100	5-1510-54.2400	COMPUTERS	27,500.00	25,000.00	(2,500.00)	5-1510-54.2400	5,746.41	22.99%		25,000.00
100	5-1510-54.2450	COMPUTER MAINTENANCE	88,000.00	125,000.00	37,000.00	5-1510-54.2450	23,420.88	18.74%		125,000.00
100	5-1510-54.2500	EQUIPMENT	16,000.00	10,000.00	(6,000.00)	5-1510-54.2500	3,102.87	31.03%		10,000.00
100	5-1510-56.1000	DEPRECIATION	0.00	0.00	0.00	5-1510-56.1000	0.00	0.00%		0.00
100	5-1510-57.9000	CONTINGENCIES	20,000.00	20,000.00	0.00	5-1510-57.9000	0.00	0.00%		20,000.00
Total Expenditures			1,747,450.00	1,853,400.00	105,950.00	TOTAL QUARTER	579,178.27	31.25%	29000	1,882,400.00

Employee-Related Expense
Contracted Expenses
Supplies and Related Expense
Capital Items

FUND	ACCOUNT	DESCRIPTION	Prior 2020 Initial Budget	Proposed 2021 Budget	Variance	Account	Quarter 2	YTD Bal	Adj.	Revised FY21
100	5-2650-51.1100	REGULAR EMPLOYEES	86,000.00	82,500.00	(3,500.00)	5-2650-51.1100	26,163.15	31,711%		82,500.00
100	5-2650-51.1158	JUDGE SALARY	30,000.00	25,000.00	(5,000.00)	5-2650-51.1158	11,500.00	46.00%		25,000.00
100	5-2650-51.1300	OVERTIME	750.00	500.00	(250.00)	5-2650-51.1300	0.00	0.00%		500.00
100	5-2650-51.2100	GROUP INSURANCE	8,000.00	8,000.00	0.00	5-2650-51.2100	4,297.18	53.71%		8,000.00
100	5-2650-51.2200	FICA (SOCIAL SECURITY)	600.00	750.00	150.00	5-2650-51.2200	370.18	49.36%		750.00
100	5-2650-51.2400	RETIREMENT	6,000.00	6,000.00	0.00	5-2650-51.2400	3,136.31	52.27%		6,000.00
100	5-2650-51.2500	TUITION REIMBURSEMENTS	3,000.00	4,000.00	1,000.00	5-2650-51.2500	0.00	0.00%		0.00
100	5-2650-51.2700	WORKER'S COMPENSATION	3,000.00	4,000.00	1,000.00	5-2650-51.2700	2,839.82	71.00%		4,000.00
100	5-2650-51.2750	UNEMPLOYMENT TAX - GEORGIA	500.00	500.00	0.00	5-2650-51.2750	73.08	14.62%		500.00
100	5-2650-52.1230	LEGAL	7,500.00	5,000.00	(2,500.00)	5-2650-52.1230	0.00	0.00%		5,000.00
100	5-2650-52.1260	SOLICITOR	24,000.00	22,000.00	(2,000.00)	5-2650-52.1260	10,850.00	49.32%		22,000.00
100	5-2650-52.1261	PUBLIC DEFENDER	17,500.00	15,000.00	(2,500.00)	5-2650-52.1261	2,000.00	13.33%		15,000.00
100	5-2650-52.1301	TECHNICAL - SOFTWARE	10,000.00	10,000.00	0.00	5-2650-52.1301	3,127.26	31.27%		10,000.00
100	5-2650-52.1302	TECHNICAL - HARDWARE	7,000.00	10,000.00	3,000.00	5-2650-52.1302	300.00	3.00%		10,000.00
100	5-2650-52.1400	DRUG & MEDICAL	200.00	200.00	0.00	5-2650-52.1400	0.00	0.00%		200.00
100	5-2650-52.2210	AUTO / TRUCK EXPENSE	500.00	0.00	(500.00)	5-2650-52.2210	0.00	0.00%		0.00
100	5-2650-52.2211	AUTO / TRUCK FUEL	500.00	0.00	(500.00)	5-2650-52.2211	0.00	0.00%		0.00
100	5-2650-52.2250	OTHER EQUIP. REPAIRS/MAINT	500.00	1,000.00	500.00	5-2650-52.2250	0.00	0.00%		1,000.00
100	5-2650-52.3100	RISK MANAGEMENT INSURANCE	4,500.00	5,000.00	500.00	5-2650-52.3100	3,491.62	69.83%	-1000	4,000.00
100	5-2650-52.3200	COMMUNICATIONS-CELL PHONES	750.00	500.00	(250.00)	5-2650-52.3200	116.85	23.37%		500.00
100	5-2650-52.3205	INTERNET	100.00	1,000.00	900.00	5-2650-52.3205	0.00	0.00%		1,000.00
100	5-2650-52.3310	PUBLIC NOTICES	100.00	100.00	0.00	5-2650-52.3310	0.00	0.00%		100.00
100	5-2650-52.3500	TRAVEL-MILEAGE REIMBURSEMENT	400.00	400.00	0.00	5-2650-52.3500	0.00	0.00%		400.00
100	5-2650-52.3600	DUES & FEES	400.00	400.00	0.00	5-2650-52.3600	0.00	0.00%		400.00
100	5-2650-52.3700	EDUCATION & TRAINING	4,000.00	3,500.00	(500.00)	5-2650-52.3700	0.00	0.00%		3,500.00
100	5-2650-52.3970	POSTAGE	1,000.00	1,500.00	500.00	5-2650-52.3970	440.00	29.33%		1,500.00
100	5-2650-52.3995	COURT COST-SUBPEONAS	200.00	200.00	0.00	5-2650-52.3995	0.00	0.00%		200.00
100	5-2650-53.1105	OFFICE SUPPLIES	500.00	500.00	0.00	5-2650-53.1105	37.00	7.40%		500.00
100	5-2650-53.1107	BANK & CREDIT CARD CHARGES	500.00	2,500.00	2,000.00	5-2650-53.1107	3,726.45	149.06%	3500	6,000.00
100	5-2650-53.1160	OPERATING EQUIPMENT COM SVC	250.00	100.00	(150.00)	5-2650-53.1160	0.00	0.00%		100.00
100	5-2650-53.1700	OTHER SUPPLIES	300.00	250.00	(50.00)	5-2650-53.1700	0.00	0.00%		250.00
100	5-2650-53.1785	UNIFORMS	600.00	600.00	0.00	5-2650-53.1785	0.00	0.00%		600.00
100	5-2650-53.1786	BOOT ALLOWANCE	0.00	0.00	0.00	5-2650-53.1786	0.00	0.00%		0.00
100	5-2650-53.1795	MISCELLANEOUS	0.00	0.00	0.00	5-2650-53.1795	0.00	0.00%		0.00
100	5-2650-54.2200	VEHICLES	0.00	0.00	0.00	5-2650-54.2200	0.00	0.00%		0.00
100	5-2650-54.2300	FURNITURE & FIXTURES	0.00	0.00	0.00	5-2650-54.2300	0.00	0.00%		0.00
100	5-2650-54.2400	COMPUTERS	1,200.00	1,500.00	300.00	5-2650-54.2400	1,396.92	93.13%		1,500.00
100	5-2650-54.2420	PAPERLESS COURT SYSTEM	4,000.00	5,000.00	1,000.00	5-2650-54.2420	0.00	0.00%		5,000.00
100	5-2650-54.2450	COMPUTER MAINTENANCE	0.00	20,000.00	20,000.00	5-2650-54.2450	2,472.85	12.36%		20,000.00
100	5-2650-54.2500	EQUIPMENT COMMUNITY SERV	800.00	250.00	(550.00)	5-2650-54.2500	0.00	0.00%		250.00
100	5-2650-54.2550	EQUIPMENT - COURT	0.00	0.00	0.00	5-2650-54.2550	0.00	0.00%		0.00
100	5-2650-56.1000	DEPRECIATION	0.00	0.00	0.00	5-2650-56.1000	0.00	0.00%		0.00
100	5-2650-57.2000	JAIL CONSTRUCTION	42,500.00	35,000.00	(7,500.00)	5-2650-57.2000	9,960.08	28.46%		35,000.00
100	5-2650-57.2100	GEORGIA CRIME VICTIMS	1,000.00	1,000.00	0.00	5-2650-57.2100	109.77	10.98%		1,000.00
100	5-2650-57.2110	VICTIMS ASSISTANCE FUND	21,500.00	15,000.00	(6,500.00)	5-2650-57.2110	5,009.12	33.39%		15,000.00
100	5-2650-57.2120	POLICE OFFICERS A & B FUND	22,500.00	18,000.00	(4,500.00)	5-2650-57.2120	9,963.33	55.35%		18,000.00
100	5-2650-57.2130	POLICE /PROSECUTOR TRAINING	35,000.00	30,000.00	(5,000.00)	5-2650-57.2130	9,482.43	31.61%		30,000.00
100	5-2650-57.2150	SPINAL INJURY TRUST FUND	2,500.00	2,000.00	(500.00)	5-2650-57.2150	244.07	12.20%		2,000.00
100	5-2650-57.2160	GBI CRIME LAB	1,000.00	750.00	(250.00)	5-2650-57.2160	125.00	16.67%		750.00
100	5-2650-57.2170	INDIGENT DEFENSE-POTFIOF	42,500.00	35,000.00	(7,500.00)	5-2650-57.2170	10,065.39	28.76%		35,000.00
100	5-2650-57.2180	DRUG TREATMENT & EDUCATION	7,000.00	6,500.00	(500.00)	5-2650-57.2180	1,993.58	30.67%		6,500.00
100	5-2650-57.2190	DRIVERS ED & TRAINING FUND	6,000.00	5,000.00	(1,000.00)	5-2650-57.2190	1,402.25	28.05%		5,000.00
100	5-2650-57.9000	CONTINGENCIES	5,000.00	5,000.00	0.00	5-2650-57.9000	0.00	0.00%		5,000.00

FUND	ACCOUNT	DESCRIPTION	Prior 2020 Initial Budget	Proposed 2021 Budget	Variance	Account	Quarter 2	YTD Bal	Adj.	Revised FY21
		Total Expenditures	408,650.00	387,000.00	(21,650.00)	TOTAL QUARTER	124,693.69	32.22%	2500	389,500.00
		Employee-Related Expense								
		Contracted Expenses								
		Supplies and Related Expense								
		Capital Items								

FUND	ACCOUNT	DESCRIPTION	Prior 2020 Initial Budget	Proposed 2021 Budget	Variance	Account	Quarter 2	YTD Bal	Adj.	Revised FY21
100	5-3230-51.1100	REGULAR EMPLOYEES	1,502,800.00	1,750,000.00	247,200.00	5-3230-51.1100	712,242.90	40.70%		1,750,000.00
100	5-3230-51.1300	OVERTIME	35,000.00	35,000.00	0.00	5-3230-51.1300	10,759.61	30.74%		35,000.00
100	5-3230-51.2100	GROUP INSURANCE	215,000.00	275,000.00	60,000.00	5-3230-51.2100	132,200.80	48.07%		275,000.00
100	5-3230-51.2200	FICA (SOCIAL SECURITY)	18,000.00	18,000.00	0.00	5-3230-51.2200	9,864.70	54.80%		18,000.00
100	5-3230-51.2400	RETIREMENT	113,000.00	120,000.00	7,000.00	5-3230-51.2400	46,001.59	38.33%		120,000.00
100	5-3230-51.2500	TUITION REIMBURSEMENTS	0.00	0.00	0.00	5-3230-51.2500	0.00	0.00%		0.00
100	5-3230-51.2700	WORKER'S COMPENSATION	39,000.00	45,000.00	6,000.00	5-3230-51.2700	35,497.75	78.88%	-5000	40,000.00
100	5-3230-51.2750	UNEMPLOYMENT TAX - GEORGIA	5,000.00	5,000.00	0.00	5-3230-51.2750	968.21	19.36%		5,000.00
100	5-3230-52.1230	LEGAL	5,000.00	5,000.00	0.00	5-3230-52.1230	5,390.10	107.80%	2500	7,500.00
100	5-3230-52.1301	TECHNICAL - SOFTWARE	30,000.00	30,000.00	0.00	5-3230-52.1301	26,594.79	88.65%	10000	40,000.00
100	5-3230-52.1302	TECHNICAL - HARDWARE	20,000.00	25,000.00	5,000.00	5-3230-52.1302	17,966.87	71.87%		25,000.00
100	5-3230-52.1400	DRUG & MEDICAL	2,500.00	2,000.00	(500.00)	5-3230-52.1400	1,309.34	65.47%		2,000.00
100	5-3230-52.2210	AUTO/TRUCK EXPENSES	65,000.00	70,000.00	5,000.00	5-3230-52.2210	13,888.81	19.84%		70,000.00
100	5-3230-52.2211	AUTO GAS & FUEL	60,500.00	62,000.00	1,500.00	5-3230-52.2211	28,750.10	46.37%		62,000.00
100	5-3230-52.2240	BUILDING & GROUNDS	5,000.00	22,500.00	17,500.00	5-3230-52.2240	31,192.38	138.63%	20000	42,500.00
100	5-3230-52.2250	OTHER EQUIP. REPAIRS/MAINT	4,000.00	5,000.00	1,000.00	5-3230-52.2250	1,755.18	35.10%		5,000.00
100	5-3230-52.3100	RISK MANAGEMENT INSURANCE	45,000.00	50,000.00	5,000.00	5-3230-52.3100	47,915.02	95.83%		50,000.00
100	5-3230-52.3200	COMMUNICATIONS-CELL PHONES	15,000.00	15,000.00	0.00	5-3230-52.3200	7,787.48	51.92%		15,000.00
100	5-3230-52.3201	TELEPHONE	2,500.00	5,000.00	2,500.00	5-3230-52.3201	3,234.05	64.68%		5,000.00
100	5-3230-52.3205	INTERNET	(18,000.00)	0.00	18,000.00	5-3230-52.3205	0.00	0.00%		0.00
100	5-3230-52.3220	NETWORK/TELEPHONE	35,000.00	15,000.00	(20,000.00)	5-3230-52.3220	3,156.34	21.04%		15,000.00
100	5-3230-52.3300	ADVERTISING	1,000.00	250.00	(750.00)	5-3230-52.3300	0.00	0.00%		250.00
100	5-3230-52.3500	TRAVEL MILEAGE REIMBURSEMENT	2,000.00	1,000.00	(1,000.00)	5-3230-52.3500	0.00	0.00%		1,000.00
100	5-3230-52.3600	DUES & FEES	2,000.00	2,000.00	0.00	5-3230-52.3600	760.13	38.01%		2,000.00
100	5-3230-52.3700	EDUCATION & TRAINING	7,500.00	7,500.00	0.00	5-3230-52.3700	1,047.00	13.96%		7,500.00
100	5-3230-52.3750	MEETINGS & CONFERENCE	10,000.00	7,500.00	(2,500.00)	5-3230-52.3750	1,406.58	18.75%		7,500.00
100	5-3230-52.3850	CONTRACT LABOR	300.00	250.00	(50.00)	5-3230-52.3850	0.00	0.00%		250.00
100	5-3230-52.3851	CONTRACTED SVCS - PSB	25,000.00	25,000.00	0.00	5-3230-52.3851	0.00	0.00%		25,000.00
100	5-3230-52.3950	TASK FORCE EXPENSES	0.00	1,000.00	1,000.00	5-3230-52.3950	0.00	0.00%		1,000.00
100	5-3230-52.3970	POSTAGE	3,000.00	4,000.00	1,000.00	5-3230-52.3970	393.25	9.83%		4,000.00
100	5-3230-52.3980	INVESTIGATIONS	1,000.00	5,000.00	4,000.00	5-3230-52.3980	1,302.50	26.05%		5,000.00
100	5-3230-53.1105	OFFICE SUPPLIES	6,500.00	5,500.00	(1,000.00)	5-3230-53.1105	2,507.15	45.58%		5,500.00
100	5-3230-53.1107	BANK & CREDIT CARD CHARGES	18,000.00	25,000.00	7,000.00	5-3230-53.1107	7,017.63	28.07%		25,000.00
100	5-3230-53.1150	OPERATING SUPPLIES	0.00	2,500.00	2,500.00	5-3230-53.1150	1,227.79	49.11%		2,500.00
100	5-3230-53.1160	OPERATING EQUIPMENT	45,000.00	47,500.00	2,500.00	5-3230-53.1160	4,291.07	9.03%		47,500.00
100	5-3230-53.1165	K-9 EXPENSE	0.00	0.00	0.00	5-3230-53.1165	0.00	0.00%		0.00
100	5-3230-53.1170	COPS EXPENSE	5,000.00	5,000.00	0.00	5-3230-53.1170	90.00	1.80%		5,000.00
100	5-3230-53.1205	UTILITIES	29,000.00	32,500.00	3,500.00	5-3230-53.1205	8,892.10	27.36%		32,500.00
100	5-3230-53.1210	STORMWATER FEES	1,000.00	1,000.00	0.00	5-3230-53.1210	0.00	0.00%		1,000.00
100	5-3230-53.1700	OTHER SUPPLIES	10,000.00	7,500.00	(2,500.00)	5-3230-53.1700	1,670.64	22.28%		7,500.00
100	5-3230-53.1785	UNIFORMS	20,000.00	25,000.00	5,000.00	5-3230-53.1785	19,353.17	77.41%		25,000.00
100	5-3230-53.1795	MISCELLANEOUS	0.00	0.00	0.00	5-3230-53.1795	0.00	0.00%		0.00
100	5-3230-54.1310	PUBLIC SAFETY BUILDING	0.00	5,000.00	5,000.00	5-3230-54.1310	1,542.22	30.84%		5,000.00
100	5-3230-54.2200	VEHICLES	66,000.00	100,000.00	34,000.00	5-3230-54.2200	69,286.00	69.29%		100,000.00
100	5-3230-54.2300	FURNITURE & FIXTURES	10,000.00	5,000.00	(5,000.00)	5-3230-54.2300	0.00	0.00%		5,000.00
100	5-3230-54.2400	COMPUTERS	14,000.00	10,000.00	(4,000.00)	5-3230-54.2400	0.00	0.00%		10,000.00
100	5-3230-54.2450	COMPUTER MAINTENANCE	20,000.00	30,000.00	10,000.00	5-3230-54.2450	9,485.51	18.97%		50,000.00
100	5-3230-54.2500	EQUIPMENT	87,500.00	85,000.00	(2,500.00)	5-3230-54.2500	10,552.47	12.41%		85,000.00
100	5-3230-55.2300	JUDGEMENTS	7,500.00	7,500.00	0.00	5-3230-55.2300	0.00	0.00%		7,500.00
100	5-3230-56.1000	DEPRECIATION	0.00	0.00	0.00	5-3230-56.1000	0.00	0.00%		0.00
100	5-3230-57.9000	CONTINGENCIES	15,000.00	12,500.00	(2,500.00)	5-3230-57.9000	0.00	0.00%		12,500.00
Total Expenditures			2,604,600.00	3,034,500.00	429,900.00	TOTAL QUARTER	1,277,301.23	42.09%	27500	3,062,000.00

FUND	ACCOUNT	DESCRIPTION	Prior 2020 Initial Budget	Proposed 2021 Budget	Variance	Account	Quarter 2	YTD Bal	Adj.	Revised FY21
100	5-4210-51.1100	REGULAR EMPLOYEES	462,500.00	485,000.00	22,500.00	5-4210-51.1100	231,418.46	47.72%		485,000.00
100	5-4210-51.1200	SEASONAL EMPLOYEES	0.00	5,000.00	5,000.00	5-4210-51.1200	0.00	0.00%		5,000.00
100	5-4210-51.1300	OVERTIME	10,000.00	10,000.00	0.00	5-4210-51.1300	3,560.75	35.61%		10,000.00
100	5-4210-51.2100	GROUP INSURANCE	90,000.00	90,000.00	0.00	5-4210-51.2100	45,288.85	50.32%		90,000.00
100	5-4210-51.2200	FICA (SOCIAL SECURITY)	6,000.00	7,500.00	1,500.00	5-4210-51.2200	3,259.95	43.47%		7,500.00
100	5-4210-51.2400	RETIREMENT	40,000.00	45,000.00	5,000.00	5-4210-51.2400	21,781.15	48.40%		45,000.00
100	5-4210-51.2700	WORKER'S COMPENSATION	17,000.00	27,500.00	10,500.00	5-4210-51.2700	21,298.65	77.45%	-5000	22,500.00
100	5-4210-51.2750	UNEMPLOYMENT TAX - GEORGIA	2,500.00	2,500.00	0.00	5-4210-51.2750	432.95	17.32%		2,500.00
100	5-4210-52.1200	PROFESSIONAL	2,000.00	2,000.00	0.00	5-4210-52.1200	0.00	0.00%		2,000.00
100	5-4210-52.1230	LEGAL	0.00	1,000.00	1,000.00	5-4210-52.1230	0.00	0.00%		1,000.00
100	5-4210-52.1250	ENGINEERING	50,000.00	55,000.00	5,000.00	5-4210-52.1250	0.00	0.00%		55,000.00
100	5-4210-52.1301	TECHNICAL - SOFTWARE	5,000.00	15,000.00	10,000.00	5-4210-52.1301	9,244.64	61.63%		15,000.00
100	5-4210-52.1302	TECHNICAL - HARDWARE	1,500.00	7,500.00	6,000.00	5-4210-52.1302	0.00	0.00%		7,500.00
100	5-4210-52.1400	DRUG & MEDICAL	1,500.00	3,000.00	1,500.00	5-4210-52.1400	930.00	31.00%		3,000.00
100	5-4210-52.2210	AUTO/TRUCK EXPENSES	16,500.00	20,000.00	3,500.00	5-4210-52.2210	10,253.08	51.27%		20,000.00
100	5-4210-52.2211	AUTO GAS & FUEL	30,000.00	35,000.00	5,000.00	5-4210-52.2211	13,062.98	37.32%		35,000.00
100	5-4210-52.2240	BUILDING & GROUNDS	12,500.00	25,000.00	12,500.00	5-4210-52.2240	6,252.08	25.01%		25,000.00
100	5-4210-52.2250	OTHER EQUIP. REPAIRS/MAINT	20,000.00	30,000.00	10,000.00	5-4210-52.2250	4,760.49	15.87%		30,000.00
100	5-4210-52.2260	STREET MAINTENANCE & PAVING	250,000.00	300,000.00	50,000.00	5-4210-52.2260	4,105.59	1.37%		300,000.00
100	5-4210-52.2320	RENTAL OF EQUIPMENT & VEHICLE	8,000.00	10,000.00	2,000.00	5-4210-52.2320	1,494.69	14.95%		10,000.00
100	5-4210-52.3100	RISK MANAGEMENT INSURANCE	25,000.00	35,000.00	10,000.00	5-4210-52.3100	25,615.85	73.19%	-5000	30,000.00
100	5-4210-52.3200	COMMUNICATIONS-CELL. PHONES	5,500.00	6,000.00	500.00	5-4210-52.3200	2,948.12	49.14%		6,000.00
100	5-4210-52.3201	TELEPHONE	5,000.00	4,000.00	(1,000.00)	5-4210-52.3201	574.50	14.36%		4,000.00
100	5-4210-52.3205	INTERNET	7,500.00	7,500.00	0.00	5-4210-52.3205	1,637.52	21.83%		7,500.00
100	5-4210-52.3310	PUBLIC NOTICES	180.00	200.00	20.00	5-4210-52.3310	0.00	0.00%		200.00
100	5-4210-52.3600	DUES & FEES	400.00	500.00	100.00	5-4210-52.3600	0.00	0.00%		500.00
100	5-4210-52.3700	EDUCATION & TRAINING	3,000.00	3,000.00	0.00	5-4210-52.3700	0.00	0.00%		3,000.00
100	5-4210-52.3750	MEETINGS & CONFERENCE	1,000.00	1,000.00	0.00	5-4210-52.3750	36.92	3.69%		1,000.00
100	5-4210-52.3855	CONTRACTS	0.00	0.00	0.00	5-4210-52.3855	0.00	0.00%		0.00
100	5-4210-52.3940	TREE MAINTENANCE	25,000.00	25,000.00	0.00	5-4210-52.3940	3,659.27	14.64%		25,000.00
100	5-4210-53.1105	OFFICE SUPPLIES	500.00	1,000.00	500.00	5-4210-53.1105	750.73	75.07%		1,000.00
100	5-4210-53.1150	OPERATING SUPPLIES	20,000.00	30,000.00	10,000.00	5-4210-53.1150	7,335.26	24.45%		30,000.00
100	5-4210-53.1160	OPERATING EQUIPMENT	12,000.00	12,000.00	0.00	5-4210-53.1160	5,247.83	43.73%		12,000.00
100	5-4210-53.1205	UTILITIES	8,500.00	25,000.00	16,500.00	5-4210-53.1205	13,939.66	55.76%		25,000.00
100	5-4210-53.1210	STORMWATER FEES	1,600.00	2,000.00	400.00	5-4210-53.1210	0.00	0.00%		2,000.00
100	5-4210-53.1225	STREET LIGHTS	120,000.00	125,000.00	5,000.00	5-4210-53.1225	49,140.91	39.31%		125,000.00
100	5-4210-53.1230	STREET LIGHT DISTRICT SERVICES	0.00	20,000.00	20,000.00	5-4210-53.1230	196.89	0.98%		20,000.00
100	5-4210-53.1700	OTHER SUPPLIES	16,000.00	10,000.00	(6,000.00)	5-4210-53.1700	1,390.66	13.91%		10,000.00
100	5-4210-53.1720	CHRISTMAS DECORATIONS	15,000.00	10,000.00	(5,000.00)	5-4210-53.1720	0.00	0.00%		10,000.00
100	5-4210-53.1725	STREET SIGNS & MARKINGS	35,000.00	40,000.00	5,000.00	5-4210-53.1725	2,192.27	5.48%		40,000.00
100	5-4210-53.1775	REPAIR DAMAGE PROPERTY	1,250.00	2,500.00	1,250.00	5-4210-53.1775	10,650.85	426.03%	10000	12,500.00
100	5-4210-53.1785	UNIFORMS	6,500.00	15,000.00	8,500.00	5-4210-53.1785	5,730.02	38.20%		15,000.00
100	5-4210-53.1786	BOOT ALLOWANCE	1,200.00	1,500.00	300.00	5-4210-53.1786	0.00	0.00%		1,500.00
100	5-4210-53.1795	MISCELLANEOUS	0.00	0.00	0.00	5-4210-53.1795	0.00	0.00%		0.00
100	5-4210-54.1401	BILL GRDNR PKWY/SR 42 IMPROVE	1,000,000.00	1,000,000.00	0.00	5-4210-54.1401	1,000,000.00	100.00%		1,000,000.00
100	5-4210-54.2200	VEHICLES	30,000.00	30,000.00	0.00	5-4210-54.2200	0.00	0.00%		30,000.00
100	5-4210-54.2300	FURNITURE & FIXTURES	500.00	1,000.00	500.00	5-4210-54.2300	0.00	0.00%		1,000.00
100	5-4210-54.2400	COMPUTER	1,600.00	2,000.00	400.00	5-4210-54.2400	0.00	0.00%		2,000.00
100	5-4210-54.2450	COMPUTER MAINTENANCE	0.00	0.00	0.00	5-4210-54.2450	1,022.55	0.00%		0.00
100	5-4210-54.2500	EQUIPMENT	65,000.00	55,000.00	(10,000.00)	5-4210-54.2500	18,684.88	33.97%		55,000.00

	5-4210-54.2700	SECURITY SYSTEM	500.00	0.00	(500.00)	5-4210-54.2700	0.00	0.00%		0.00
100	5-4210-56.1000	DEPRECIATION	0.00	0.00	0.00	5-4210-56.1000	0.00	0.00%		0.00
100	5-4210-57.3100	CLAIMS	0.00	0.00	0.00	5-4210-57.3100	0.00	0.00%		0.00
100	5-4210-57.9000	CONTINGENCIES	5,000.00	5,000.00	0.00	5-4210-57.9000	0.00	0.00%		5,000.00
		Total Expenditures	2,437,730.00	2,645,200.00	207,470.00	TOTAL QUARTER	1,527,899.00	57.76%	0	2,645,200.00

Employee-Related Expense
Contracted Expenses
Supplies and Related Expense
Capital Items

FUND	ACCOUNT	DESCRIPTION	Prior 2020 Initial Budget	Proposed 2021 Budget	Variance	Quarter 2	YTD Bal	Adj.	Revised FY21
100	5-4220-51.1100	REGULAR EMPLOYEES	0.00	37,500.00	37,500.00	0.00	0.00%	-7500	30,000.00
100	5-4220-51.1300	OVERTIME	0.00	1,500.00	1,500.00	0.00	0.00%	-500	1,000.00
100	5-4220-51.2100	GROUP INSURANCE	0.00	5,000.00	5,000.00	0.00	0.00%	-1000	4,000.00
100	5-4220-51.2200	FICA (SOCIAL SECURITY)	0.00	250.00	250.00	0.00	0.00%		250.00
100	5-4220-51.2400	RETIREMENT	0.00	1,000.00	1,000.00	0.00	0.00%		1,000.00
100	5-4220-51.2500	TUITION REIMBURSEMENTS	0.00	0.00	0.00	0.00	0.00%		0.00
100	5-4220-51.2700	WORKER'S COMPENSATION	0.00	2,500.00	2,500.00	0.00	0.00%	-500	2,000.00
100	5-4220-51.2750	UNEMPLOYMENT TAX - GEORGIA	0.00	500.00	500.00	0.00	0.00%		500.00
100	5-4220-52.1400	DRUG & MEDICAL	0.00	250.00	250.00	0.00	0.00%		250.00
100	5-4220-52.2210	AUTO/TRUCK EXPENSES	0.00	2,500.00	2,500.00	0.00	0.00%	-500	2,000.00
100	5-4220-52.2211	AUTO GAS & FUEL	0.00	2,500.00	2,500.00	0.00	0.00%	-500	2,000.00
100	5-4220-52.2240	BUILDING & GROUNDS	0.00	5,000.00	5,000.00	0.00	0.00%		5,000.00
100	5-4220-52.2250	OTHER EQUIP. REPAIRS/MAINT	2,000.00	5,000.00	3,000.00	0.00	0.00%	-2000	3,000.00
100	5-4220-52.3100	RISK MANAGEMENT INSURANCE	0.00	5,000.00	5,000.00	23.37	0.00%	-2000	3,000.00
100	5-4220-52.3200	COMMUNICATIONS-CELL PHONES	0.00	250.00	250.00	0.00	0.00%		250.00
100	5-4220-52.3205	INTERNET	0.00	1,500.00	1,500.00	0.00	0.00%	-500	1,000.00
100	5-4220-52.3600	DUES & FEES	0.00	200.00	200.00	0.00	0.00%		200.00
100	5-4220-52.3700	EDUCATION & TRAINING	0.00	1,500.00	1,500.00	0.00	0.00%		1,500.00
100	5-4220-53.1160	OPERATING EQUIPMENT	400.00	3,500.00	3,100.00	0.00	0.00%		3,500.00
100	5-4220-53.1205	UTILITIES	2,500.00	5,000.00	2,500.00	0.00	0.00%	-500	4,500.00
100	5-4220-53.1700	OTHER SUPPLIES	500.00	1,000.00	500.00	0.00	0.00%		1,000.00
100	5-4220-53.1785	UNIFORMS	0.00	500.00	500.00	0.00	0.00%		500.00
100	5-4220-53.1786	BOOT ALLOWANCE	0.00	150.00	150.00	0.00	0.00%		150.00
100	5-4220-53.1795	MISCELLANEOUS	0.00	0.00	0.00	0.00	0.00%		0.00
100	5-4220-54.2100	MACHINERY	0.00	1,000.00	1,000.00	0.00	0.00%		1,000.00
100	5-4220-54.2200	VEHICLES	0.00	0.00	0.00	0.00	0.00%		0.00
100	5-4220-54.2300	FURNITURE & FIXTURES	0.00	1,000.00	1,000.00	0.00	0.00%		1,000.00
100	5-4220-54.2400	COMPUTER	0.00	1,000.00	1,000.00	0.00	0.00%		1,000.00
100	5-4220-54.2450	COMPUTER MAINTENANCE	0.00	0.00	0.00	0.00	0.00%		0.00
100	5-4220-54.2500	EQUIPMENT	500.00	500.00	0.00	0.00	0.00%		500.00
100	5-4220-56.1000	DEPRECIATION	0.00	0.00	0.00	0.00	0.00%		0.00
100	5-4220-57.9000	CONTINGENCIES	1,000.00	1,000.00	0.00	0.00	0.00%		1,000.00

Total Expenditures	6,900.00	86,600.00	79,700.00	23.37	0.00%	-15500	71,100.00
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FUND	ACCOUNT	DESCRIPTION	Prior 2020 Initial Budget	Proposed 2021 Budget	Variance	Account	Quarter 2	YTD Bal	Adj.	Revised FY21
100	5-6220-52.2240	BUILDING & GROUNDS	20,000.00	10,000.00	(10,000.00)	5-6220-52.2240	11,498.77	114.99%	10000	20,000.00
100	5-6220-52.3100	RISK MANAGEMENT INSURANCE	1,000.00	1,000.00	0.00	5-6220-52.3100	0.00	0.00%		1,000.00
100	5-6220-53.1205	UTILITIES	6,500.00	6,500.00	0.00	5-6220-53.1205	2,337.08	35.96%		6,500.00
100	5-6220-53.1210	STORMWATER FEES	10,000.00	5,000.00	(5,000.00)	5-6220-53.1210	0.00	0.00%		5,000.00
100	5-6220-53.1600	OPERATING SUPPLIES	2,500.00	2,500.00	0.00	5-6220-53.1600	436.05	17.44%		2,500.00
100	5-6220-53.1700	OTHER SUPPLIES	7,500.00	5,000.00	(2,500.00)	5-6220-53.1700	0.00	0.00%		5,000.00
100	5-6220-54.1100	REPAIRS & MAINTENANCE	0.00	1,000.00	1,000.00	5-6220-54.1100	0.00	0.00%		1,000.00
100	5-6220-54.1101	TANGER PARK	100,000.00	25,000.00	(75,000.00)	5-6220-54.1101	0.00	0.00%	0	25,000.00
100	5-6220-54.1300	BUILDINGS	25,000.00	5,000.00	(20,000.00)	5-6220-54.1300	0.00	0.00%	-10000	(5,000.00)
Total Expenditures			172,500.00	61,000.00	(111,500.00)	TOTAL QUARTER	14,271.90	0.00%	0	61,000.00

Employee-Related Expense
Contracted Expenses
Supplies and Related Expense
Capital Items

FUND	ACCOUNT	DESCRIPTION	Prior 2020 Initial Budget	Proposed 2021 Budget	Variance	Account	Quarter 2	YTD Bal	Adj.	Revised FY21
100	5-7220-51.1100	REGULAR EMPLOYEES	365,000.00	425,000.00	60,000.00	5-7220-51.1100	135,949.25	31.99%		425,000.00
100	5-7220-51.1300	OVERTIME	500.00	2,500.00	2,000.00	5-7220-51.1300	0.00	0.00%		2,500.00
100	5-7220-51.2100	GROUP INSURANCE	30,000.00	40,000.00	10,000.00	5-7220-51.2100	16,069.74	40.17%		40,000.00
100	5-7220-51.2200	FICA (SOCIAL SECURITY)	3,600.00	6,000.00	2,400.00	5-7220-51.2200	1,916.90	31.95%		6,000.00
100	5-7220-51.2400	RETIREMENT	25,000.00	35,000.00	10,000.00	5-7220-51.2400	7,696.80	21.99%	-500	30,000.00
100	5-7220-51.2700	WORKER'S COMPENSATION	7,000.00	10,500.00	3,500.00	5-7220-51.2700	7,099.55	67.61%		10,500.00
100	5-7220-51.2750	UNEMPLOYMENT TAX - GEORGIA	1,200.00	2,000.00	800.00	5-7220-51.2750	173.19	8.66%		2,000.00
100	5-7220-52.1200	PROFESSIONAL	50,000.00	35,000.00	(15,000.00)	5-7220-52.1200	17,751.25	50.66%		35,000.00
100	5-7220-52.1230	LEGAL	20,000.00	10,000.00	(10,000.00)	5-7220-52.1230	787.50	7.88%		10,000.00
100	5-7220-52.1250	ENGINEERING	5,500.00	20,000.00	14,500.00	5-7220-52.1250	8,108.10	40.54%		20,000.00
100	5-7220-52.1301	TECHNICAL - SOFTWARE	10,000.00	15,000.00	5,000.00	5-7220-52.1301	10,001.16	66.67%	2500	17,500.00
100	5-7220-52.1302	TECHNICAL - HARDWARE	5,000.00	7,500.00	2,500.00	5-7220-52.1302	1,500.00	20.00%		7,500.00
100	5-7220-52.1400	DRUG & MEDICAL	1,000.00	500.00	(500.00)	5-7220-52.1400	145.00	29.00%		500.00
100	5-7220-52.2210	AUTO/TRUCK EXPENSES	2,000.00	5,000.00	3,000.00	5-7220-52.2210	325.11	6.50%	-2000	3,000.00
100	5-7220-52.2211	AUTO GAS & FUEL	5,000.00	7,500.00	2,500.00	5-7220-52.2211	654.85	8.73%		7,500.00
100	5-7220-52.2250	OTHER EQUIP. REPAIRS/MAINT	6,000.00	6,000.00	0.00	5-7220-52.2250	3,049.40	50.82%		6,000.00
100	5-7220-52.3100	RISK MANAGEMENT INSURANCE	9,000.00	10,000.00	1,000.00	5-7220-52.3100	8,614.89	86.15%		10,000.00
100	5-7220-52.3200	COMMUNICATIONS-CELL PHONES	2,500.00	1,500.00	(1,000.00)	5-7220-52.3200	404.84	26.99%		1,500.00
100	5-7220-52.3201	TELEPHONE	0.00	2,000.00	2,000.00	5-7220-52.3201	0.00	0.00%		2,000.00
100	5-7220-52.3205	INTERNET	10,000.00	5,000.00	(5,000.00)	5-7220-52.3205	0.00	0.00%		5,000.00
100	5-7220-52.3310	PUBLIC NOTICES	2,500.00	3,500.00	1,000.00	5-7220-52.3310	712.00	20.34%		3,500.00
100	5-7220-52.3600	DUES & FEES	1,250.00	2,500.00	1,250.00	5-7220-52.3600	0.00	0.00%		2,500.00
100	5-7220-52.3700	EDUCATION & TRAINING	5,000.00	2,500.00	(2,500.00)	5-7220-52.3700	99.00	3.96%		2,500.00
100	5-7220-52.3850	CONTRACT LABOR	135,000.00	200,000.00	65,000.00	5-7220-52.3850	107,241.50	53.62%		200,000.00
100	5-7220-52.3900	ABATEMENT	10,000.00	10,000.00	0.00	5-7220-52.3900	0.00	0.00%		10,000.00
100	5-7220-52.3970	POSTAGE	2,200.00	2,200.00	0.00	5-7220-52.3970	815.58	37.07%		2,200.00
100	5-7220-53.1105	OFFICE SUPPLIES	7,000.00	5,000.00	(2,000.00)	5-7220-53.1105	3,400.46	68.01%		5,000.00
100	5-7220-53.1107	BANK & CREDIT CARD CHARGES	10,000.00	15,000.00	5,000.00	5-7220-53.1107	3,745.01	24.97%		15,000.00
100	5-7220-53.1160	OPERATING EQUIPMENT	1,000.00	1,000.00	0.00	5-7220-53.1160	0.00	0.00%		1,000.00
100	5-7220-53.1700	OTHER SUPPLIES	1,000.00	1,000.00	0.00	5-7220-53.1700	0.00	0.00%		1,000.00
100	5-7220-53.1785	UNIFORMS	1,500.00	2,500.00	1,000.00	5-7220-53.1785	532.27	21.29%		2,500.00
100	5-7220-53.1786	BOOT ALLOWANCE	240.00	240.00	0.00	5-7220-53.1786	0.00	0.00%		240.00
100	5-7220-53.1795	MISCELLANEOUS	0.00	0.00	0.00	5-7220-53.1795	0.00	0.00%		0.00
100	5-7220-54.2200	VEHICLES	0.00	30,000.00	30,000.00	5-7220-54.2200	32,775.00	109.25%	3000	33,000.00
100	5-7220-54.2300	FURNITURE & FIXTURES	5,000.00	5,000.00	0.00	5-7220-54.2300	3,946.68	78.93%		5,000.00
100	5-7220-54.2400	COMPUTERS	5,000.00	5,000.00	0.00	5-7220-54.2400	2,339.27	46.79%		5,000.00
100	5-7220-54.2450	COMPUTER MAINTENANCE	31,500.00	25,000.00	(6,500.00)	5-7220-54.2450	14,178.35	56.71%		25,000.00
100	5-7220-54.2500	EQUIPMENT	5,000.00	5,000.00	0.00	5-7220-54.2500	282.03	5.64%	-2500	2,500.00
100	5-7220-56.1000	DEPRECIATION	0.00	0.00	0.00	5-7220-56.1000	0.00	0.00%		0.00
100	5-7220-57.9000	CONTINGENCIES	2,000.00	2,000.00	0.00	5-7220-57.9000	0.00	0.00%		2,000.00
Total Expenditures			783,490.00	963,440.00	179,950.00	TOTAL QUARTER	390,294.68	40.51%	-4000	959,440.00

Employee-Related Expense
Contracted Expenses
Supplies and Related Expense
Capital Items

FUND	ACCOUNT	DESCRIPTION	Prior 2020 Initial Budget	Proposed 2021 Budget	Variance
230	3-0000-34.9000	DONATIONS/CONTRIBUTIONS	(30,000.00)	0.00	(30,000.00)
230	3-0000-34.9100	OPEN / CLOSE GRAVE FEE	(4,000.00)	(4,000.00)	0.00
230	3-0000-36.1000	INTEREST INCOME	(50.00)	(50.00)	0.00
230	3-0000-38.2000	CEMETERY LOT SALES	0.00	0.00	0.00
230	3-0000-38.9050	PRIOR YEAR REVENUE	(19,900.00)	(15,000.00)	(4,900.00)
230	5-0000-52.2250	MAINTENANCE / REPAIRS EXPENSE	1,950.00	2,500.00	550.00
230	5-0000-53.1107	BANK/ CREDIT CARD CHARGES	0.00	0.00	0.00
230	5-0000-53.1700	OTHER SUPPLIES	100.00	50.00	(50.00)
230	5-0000-54.1200	SCATTER GARDEN ADDITION	50,000.00	15,000.00	(35,000.00)
230	5-0000-54.2500	EQUIPMENT	1,900.00	1,500.00	(400.00)

Total Revenues	(53,950.00)	(19,050.00)	34,900.00
Total Expenditures	53,950.00	19,050.00	(34,900.00)

FUND	ACCOUNT	DESCRIPTION	Prior 2020 Initial Budget	Proposed 2021 Budget	Variance	Account	Quarter 2	YTD Bal	Adj.	Revised FY21
275	3-0000-31.4100	HOTEL / MOTEL TAX	(650,050.00)	(599,000.00)	(51,050.00)	3-0000-31.4100	(243,179.10)	40.60%		(599,000.00)
275	3-0000-36.1000	INTEREST INCOME	(100.00)	(100.00)	0.00	3-0000-36.1000	(24.30)	24.30%		(100.00)
275	3-0000-38.9050	PRIOR YEAR REVENUE	(299,750.00)	(467,100.00)	167,350.00	3-0000-38.9050	0.00	0.00%	19500	(447,600.00)
275	3-0000-38.9060	LCI GRANT - ARC	0.00	0.00	0.00	3-0000-38.9060	0.00	0.00%		0.00
275	3-0000-38.9080	MISC DONATIONS	(250.00)	(100.00)	(150.00)	3-0000-38.9080	0.00	0.00%		(100.00)
275	3-0000-38.9090	MISC INCOME	0.00	0.00	0.00	3-0000-38.9090	0.00	0.00%		0.00
275	3-7560-34.7400	MARDI-GROWL ADM FEES	0.00	0.00	0.00	3-7560-34.7400	0.00	0.00%		0.00
275	3-7560-34.7500	CHRISTMAS FOOD SALES	0.00	0.00	0.00	3-7560-34.7500	0.00	0.00%		0.00
275	3-7560-34.9300	RTN CHECK FEES	0.00	0.00	0.00	3-7560-34.9300	0.00	0.00%		0.00
275	3-7560-38.9030	DDA DONATIONS	0.00	0.00	0.00	3-7560-38.9030	0.00	0.00%		0.00
275	5-0000-52.1210	ADMIN FEE - H/M TRANSFER OUT	90,000.00	90,000.00	0.00	5-0000-52.1210	0.00	0.00%		90,000.00
275	5-7520-52.1200	PROFESSIONAL SVCS	12,000.00	7,500.00	(4,500.00)	5-7520-52.1200	1,575.00	21.00%		7,500.00
275	5-7520-52.1230	LEGAL	1,000.00	500.00	(500.00)	5-7520-52.1230	0.00	0.00%		500.00
275	5-7520-52.3250	I-75 LIGHTING	3,500.00	4,000.00	500.00	5-7520-52.3250	661.50	16.54%		4,000.00
275	5-7520-52.3300	ADVERTISING	32,500.00	20,000.00	(12,500.00)	5-7520-52.3300	0.00	0.00%		20,000.00
275	5-7520-52.3700	EDUCATION & TRAINING DDA	2,500.00	2,500.00	0.00	5-7520-52.3700	45.00	1.80%		2,500.00
275	5-7520-52.3710	EDUCATION & TRAINING HPC	2,500.00	2,000.00	(500.00)	5-7520-52.3710	45.00	2.25%		2,000.00
275	5-7520-52.3970	POSTAGE	0.00	0.00	0.00	5-7520-52.3970	0.00	0.00%		0.00
275	5-7520-52.3971	POSTAGE HPC	0.00	0.00	0.00	5-7520-52.3971	0.00	0.00%		0.00
275	5-7520-53.1105	OFFICE SUPPLIES	0.00	0.00	0.00	5-7520-53.1105	0.00	0.00%		0.00
275	5-7520-53.1700	OTHER SUPPLIES	0.00	0.00	0.00	5-7520-53.1700	0.00	0.00%		0.00
275	5-7520-53.1750	PROMOTIONS	21,000.00	20,000.00	(1,000.00)	5-7520-53.1750	0.00	0.00%		20,000.00
275	5-7520-54.1100	LAND ACQUISITIONS	0.00	250,000.00	250,000.00	5-7520-54.1100	0.00	0.00%		250,000.00
275	5-7520-54.1300	TRAIN PLATFORM	20,000.00	15,000.00	(5,000.00)	5-7520-54.1300	230.25	1.54%		15,000.00
275	5-7520-54.1400	BANNER PROGRAM	10,000.00	10,000.00	0.00	5-7520-54.1400	0.00	0.00%		10,000.00
275	5-7520-54.1500	WAYFINDING SIGNS	25,000.00	15,000.00	(10,000.00)	5-7520-54.1500	0.00	0.00%		15,000.00
275	5-7520-54.1600	ROSENWALD SCHOOL PROJECT	0.00	0.00	0.00	5-7520-54.1600	0.00	0.00%		0.00
275	5-7520-54.1700	LCI PROJECT - DOWNTOWN/WEST	200,000.00	0.00	(200,000.00)	5-7520-54.1700	0.00	0.00%		0.00
275	5-7520-57.2300	FURNITURE & FIXTURES	1,500.00	2,000.00	500.00	5-7520-57.2300	0.00	0.00%		2,000.00
275	5-7520-57.3300	PARKING LOT LEASE PARHAM LOT	6,500.00	5,000.00	(1,500.00)	5-7520-57.3300	0.00	0.00%		5,000.00
275	5-7520-57.3310	TRAIN LOT NORFOLK SO LEASE	500.00	500.00	0.00	5-7520-57.3310	408.78	81.76%		500.00
275	5-7540-51.1100	REGULAR EMPLOYEES	125,000.00	175,000.00	50,000.00	5-7540-51.1100	35,457.63	20.26%	-20000	155,000.00
275	5-7540-51.2100	GROUP INSURANCE	10,500.00	15,000.00	4,500.00	5-7540-51.2100	6,719.77	44.80%		15,000.00
275	5-7540-51.2200	FICA (SOCIAL SECURITY)	800.00	1,000.00	200.00	5-7540-51.2200	470.20	47.02%		1,000.00
275	5-7540-51.2400	RETIREMENT	4,500.00	6,500.00	2,000.00	5-7540-51.2400	3,291.16	50.63%		6,500.00
275	5-7540-51.2700	WORKER'S COMPENSATION	1,950.00	5,000.00	3,050.00	5-7540-51.2700	2,839.82	56.80%		5,000.00
275	5-7540-51.2750	UNEMPLOYMENT TAX - GEORGIA	500.00	500.00	0.00	5-7540-51.2750	59.33	11.87%		500.00
275	5-7540-52.1230	LEGAL	350.00	500.00	150.00	5-7540-52.1230	0.00	0.00%		500.00
275	5-7540-52.1400	DRUG & MEDICAL	100.00	100.00	0.00	5-7540-52.1400	0.00	0.00%		100.00
275	5-7540-52.2250	OTHER EQUIP. REPAIRS/MAINT	500.00	500.00	0.00	5-7540-52.2250	0.00	0.00%		500.00
275	5-7540-52.2320	RENTAL EQUIPMENT	3,000.00	3,000.00	0.00	5-7540-52.2320	0.00	0.00%		3,000.00
275	5-7540-52.3100	RISK MANAGEMENT	2,000.00	4,500.00	2,500.00	5-7540-52.3100	3,446.47	76.59%		4,500.00
275	5-7540-52.3200	COMMUNICATIONS-CELL PHONE	800.00	1,000.00	200.00	5-7540-52.3200	202.42	20.24%		1,000.00
275	5-7540-52.3205	INTERNET	0.00	0.00	0.00	5-7540-52.3205	0.00	0.00%		0.00
275	5-7540-52.3300	ADVERTISING	10,000.00	15,000.00	5,000.00	5-7540-52.3300	7,960.00	53.07%		15,000.00
275	5-7540-52.3310	PUBLIC NOTICES	1,000.00	500.00	(500.00)	5-7540-52.3310	588.00	117.60%	500	1,000.00
275	5-7540-52.3500	TRAVEL-MILE REIMBURSEMENT	500.00	500.00	0.00	5-7540-52.3500	0.00	0.00%		500.00
275	5-7540-52.3600	DUES & FEES	1,200.00	1,200.00	0.00	5-7540-52.3600	6.17	0.51%		1,200.00

FUND	ACCOUNT	DESCRIPTION	Prior 2020 Initial Budget	Proposed 2021 Budget	Variance	Account	Quarter 2	YTD Bal	Adj.	Revised FY21
275	5-7540-52.3700	EDUCATION & TRAINING	3,500.00	3,500.00	0.00	5-7540-52.3700	99.50	2.84%		3,500.00
275	5-7540-52.3750	MEETINGS & CONFERENCE	2,500.00	2,000.00	(500.00)	5-7540-52.3750	0.00	0.00%		2,000.00
275	5-7540-52.3850	CONTRACTED SERVICES	11,400.00	11,400.00	0.00	5-7540-52.3850	9,450.00	82.89%		11,400.00
275	5-7540-52.3855	EVENT ENTERTAINMENT CONTRACTS	2,500.00	2,500.00	0.00	5-7540-52.3855	0.00	0.00%		2,500.00
275	5-7540-52.3970	POSTAGE	0.00	0.00	0.00	5-7540-52.3970	55.00	0.00%		0.00
275	5-7540-52.3999	MISCELLANEOUS	0.00	0.00	0.00	5-7540-52.3999	0.00	0.00%		0.00
275	5-7540-53.1105	OFFICE SUPPLIES	3,000.00	1,000.00	(2,000.00)	5-7540-53.1105	0.00	0.00%		1,000.00
275	5-7540-53.1107	BANK & CREDIT CARD CHARGES	0.00	0.00	0.00	5-7540-53.1107	0.00	0.00%		0.00
275	5-7540-53.1160	OPERATING EQUIPMENT	1,500.00	1,500.00	0.00	5-7540-53.1160	0.00	0.00%		1,500.00
275	5-7540-53.1700	OTHER SUPPLIES	0.00	0.00	0.00	5-7540-53.1700	0.00	0.00%		0.00
275	5-7540-53.1720	CHRISTMAS DECORATIONS	15,150.00	15,000.00	(150.00)	5-7540-53.1720	0.00	0.00%		15,000.00
275	5-7540-53.1729	CITY/ EVENTS	26,000.00	35,000.00	9,000.00	5-7540-53.1729	0.00	0.00%		35,000.00
275	5-7540-53.1750	PROMOTIONS	2,500.00	2,500.00	0.00	5-7540-53.1750	0.00	0.00%		2,500.00
275	5-7540-53.1785	UNIFORMS	300.00	600.00	300.00	5-7540-53.1785	300.00	50.00%		600.00
275	5-7540-53.1795	MISCELLANEOUS	0.00	0.00	0.00	5-7540-53.1795	0.00	0.00%		0.00
275	5-7540-54.2300	FURNITURE & FIXTURES	1,500.00	1,000.00	(500.00)	5-7540-54.2300	0.00	0.00%		1,000.00
275	5-7540-54.2400	COMPUTERS	0.00	1,500.00	1,500.00	5-7540-54.2400	679.75	45.32%		1,500.00
275	5-7540-54.2450	COMPUTER MAINTENANCE	0.00	0.00	0.00	5-7540-54.2450	0.00	0.00%		0.00
275	5-7540-54.2500	EQUIPMENT	0.00	0.00	0.00	5-7540-54.2500	0.00	0.00%		0.00
275	5-7540-57.3200	PYMT TO CHAMBER	289,100.00	315,000.00	25,900.00	5-7540-57.3200	46,963.62	14.91%		315,000.00
275	5-7560-52.3970	POSTAGE	0.00	0.00	0.00	5-7560-52.3970	0.00	0.00%		0.00
275	5-7560-53.1100	MARDI GROWL EXPENSE	0.00	0.00	0.00	5-7560-53.1100	0.00	0.00%		0.00
275	5-7560-53.1107	BANK CHARGES/RTN CK CHARGE	0.00	0.00	0.00	5-7560-53.1107	0.00	0.00%		0.00
275	5-7560-53.1150	CHRISTMAS FOOD EXPENSE	0.00	0.00	0.00	5-7560-53.1150	0.00	0.00%		0.00
275	5-7560-53.1700	OTHER SUPPLIES	0.00	0.00	0.00	5-7560-53.1700	0.00	0.00%		0.00
275	5-7560-54.1150	TRAIN PLATFORM	0.00	0.00	0.00	5-7560-54.1150	0.00	0.00%		0.00
275	5-7560-54.1250	PROJECT #1 BANNERS	0.00	0.00	0.00	5-7560-54.1250	0.00	0.00%		0.00

Total Revenues	(950,150.00)	(1,066,300.00)	(116,150.00)	Total Revenues	(243,203.40)	22.81%	(1,046,800.00)
Total Expenditures	950,150.00	1,066,300.00	116,150.00	TOTAL QUARTER	121,554.37	11.40%	1,046,800.00
					0		

FUND	ACCOUNT	DESCRIPTION	Prior Year Initial Budget	Proposed 2021 Budget	Variance	FY Orig. Budget	Quarter2	YTD Bal	Adj.	RevFY21 Budget
320	3-0000-31.3200	SPLST PROCEEDS (SPLST V)	(401,900.00)	0.00	(401,900.00)	0.00	0.00	0.0%	-500000	(500,000.00)
320	3-0000-36.1000	INTEREST INCOME	(7,000.00)	(5,000.00)	(2,000.00)	(5,000.00)	(502.88)	10.1%		(5,000.00)
320	3-0000-36.1100	INTEREST REVENUE SPLST 3	(100.00)	0.00	(100.00)	0.00	0.00	0.0%		0.00
320	3-0000-38.9000	MISCELLANEOUS REVENUE	0.00	0.00	0.00	0.00	0.00	0.0%		0.00
320	3-0000-38.9050	PRIOR YEAR REVENUE	(642,000.00)	(1,195,100.00)	553,100.00	(1,195,100.00)	0.00	0.0%	200000	(995,100.00)
320	5-1510-53.1107	BANK & CREDIT CARD CHARGES	1,000.00	100.00	(900.00)	100.00	0.00	0.0%		100.00
320	5-1510-54.1100	ACQUISITION OF PROPERTY	0.00	0.00	0.00	0.00	0.00	0.0%		0.00
320	5-1510-54.1302	BUILDING IMPROVEMENTS	0.00	0.00	0.00	0.00	0.00	0.0%		0.00
320	5-1510-54.1303	CONST/RENOV MUNICIPAL BLD	100,000.00	150,000.00	50,000.00	150,000.00	0.00	0.0%	100000	250,000.00
320	5-3230-54.1350	PUBLIC SAFETY FACILITIES/EQUIP	0.00	0.00	0.00	0.00	0.00	0.0%		0.00
320	5-4210-54.1301	PUBLIC WORKS RELOCATION	0.00	0.00	0.00	0.00	0.00	0.0%		0.00
320	5-4210-54.1401	ROADS BRIDGES SIDEWALKS ETC.	0.00	0.00	0.00	0.00	0.00	0.0%		0.00
320	5-4210-54.1402	BOWDEN STREET PROJECT	0.00	0.00	0.00	0.00	0.00	0.0%		0.00
320	5-4210-54.1403	IMR I-75 STUDY	0.00	0.00	0.00	0.00	0.00	0.0%		0.00
320	5-4210-54.1404	TANGER BLVD PROJECT	0.00	0.00	0.00	0.00	0.00	0.0%		0.00
320	5-4210-54.1405	BILL GARDNER IMP PROJECT	950,000.00	950,000.00	0.00	950,000.00	0.00	0.0%	200000	1,150,000.00
320	5-4210-54.1406	RAILROAD XING STUDY	0.00	100,000.00	100,000.00	100,000.00	100,000.00	100.0%		100,000.00
320	5-4330-54.1410	WASTE WATER TREATMENT	0.00	0.00	0.00	0.00	0.00	0.0%		0.00
320	5-4332-54.1410	WW PLANT	0.00	0.00	0.00	0.00	0.00	0.0%		0.00
320	5-4420-54.1415	WELL DEVELOPMENT	0.00	0.00	0.00	0.00	0.00	0.0%		0.00
320	5-6220-54.1402	TRAIL HEAD PROJECT	0.00	0.00	0.00	0.00	0.00	0.0%		0.00
320	5-6220-54.1410	PARKS & RECREATION FACILITIES	0.00	0.00	0.00	0.00	0.00	0.0%		0.00
320	5-6220-54.1500	TANGER SOFTBALL FIELDS	0.00	0.00	0.00	0.00	200.00	0.0%		0.00
320	5-8000-58.1201	SPLST BOND PYMT PRINCIPAL	0.00	0.00	0.00	0.00	0.00	0.0%		0.00
320	5-8000-58.2201	SPLST BOND PYMTS INTEREST	0.00	0.00	0.00	0.00	0.00	0.0%		0.00

Total Revenues	(1,051,000.00)	(1,200,100.00)	(149,100.00)	(1,200,100.00)	(502.88)	1,200,100.00	100,200.00		(300,000.00)	(1,500,100.00)
Total Expenditures	1,051,000.00	1,200,100.00	149,100.00	1,200,100.00	100,200.00				300,000.00	1,500,100.00

FUND	ACCOUNT	DESCRIPTION	Prior Year Initial Budget	Proposed 2024 Budget	Variance	FY Orig. Budget	Quarter2	YTD Bal	Adj.	RevFY21 Budget
350	3-0000-36.1000	INTEREST PD	(300.00)	(250.00)	(50.00)	(250.00)	(79.62)	31.8%		(250.00)
350	3-0000-36.1100	INTEREST PAID TO CDS	0.00	0.00	0.00	0.00	0.00	0.0%		0.00
350	3-0000-38.9900	PRIOR YEAR REVENUE	(404,730.00)	(61,500.00)	(343,230.00)	(61,500.00)	0.00	0.0%		(61,500.00)
350	3-1510-34.6950	ADMINISTRATIVE FEE	(10,000.00)	(10,000.00)	0.00	(10,000.00)	(11,732.24)	117.3%	-5000	(15,000.00)
350	3-1510-36.1000	ADMINISTRATIVE INTEREST	(10.00)	(10.00)	0.00	(10.00)	0.00	0.0%		(10.00)
350	3-2500-34.6954	CIE PREP FUND	(3,000.00)	(2,500.00)	(500.00)	(2,500.00)	(2,904.70)	116.2%	-2500	(5,000.00)
350	3-2500-36.1000	CIE INTEREST	(10.00)	(10.00)	0.00	(10.00)	0.00	0.0%		(10.00)
350	3-3230-34.6951	POLICE DEPARTMENT FUND	(20,000.00)	(25,000.00)	5,000.00	(25,000.00)	(17,310.65)	69.2%	-5000	(30,000.00)
350	3-3230-36.1000	POLICE DEPARTMENT INTEREST	0.00	(50.00)	50.00	(50.00)	0.00	0.0%		(50.00)
350	3-4210-34.6953	STREET/ROAD DEPT FUND	(65,000.00)	(65,000.00)	0.00	(65,000.00)	(56,325.40)	86.7%	-35000	(100,000.00)
350	3-4210-36.1000	STREET/ROAD DEPT INTEREST	(50.00)	(100.00)	50.00	(100.00)	0.00	0.0%		(100.00)
350	3-6220-34.6952	PARK/RECREATION FUND	(300,000.00)	(484,000.00)	184,000.00	(484,000.00)	(317,368.17)	65.6%		(484,000.00)
350	3-6220-36.1000	PARK/RECREATION INTEREST	(50.00)	(250.00)	200.00	(250.00)	0.00	0.0%		(250.00)
350	5-1510-52.1200	ADMIN PROFESSIONAL SERVICES	25,000.00	25,000.00	0.00	25,000.00	0.00	0.0%		25,000.00
350	5-1510-53.1107	ADMIN BANK CHARGES	0.00	0.00	0.00	0.00	0.00	0.0%		0.00
350	5-2500-52.1200	CIE PROFESSIONAL SERVICES	50,000.00	65,000.00	15,000.00	65,000.00	0.00	0.0%	2500	67,500.00
350	5-3230-54.1302	POLICE DEPT BUILDING	50,000.00	50,000.00	0.00	50,000.00	0.00	0.0%		50,000.00
350	5-4210-52.2260	STREET/ROAD PAVING & FIXTURES	0.00	75,000.00	75,000.00	75,000.00	0.00	0.0%	25000	100,000.00
350	5-6220-52.1200	PARK/RECREATION PROF SVC	20,000.00	5,000.00	(15,000.00)	5,000.00	0.00	0.0%		5,000.00
350	5-6220-52.1250	PARK IMPRVMTS-TANGER WALKING	606,700.00	100,000.00	(506,700.00)	100,000.00	64,991.65	65.0%		100,000.00
350	5-6220-54.1100	PARKS AND RECREATION CAPITAL SHARE	0.00	241,000.00	241,000.00	241,000.00	0.00	0.0%		241,000.00
350	5-6220-54.1300	BUILDINGS/COMMUNITY CENTER	0.00	0.00	0.00	0.00	0.00	0.0%		0.00
350	5-6220-54.1302	PARK/RECREATION EQUIPMENT	51,450.00	87,670.00	36,220.00	87,670.00	10,313.00	11.8%	20000	107,670.00
Total Revenues			(803,150.00)	(648,670.00)	154,480.00	(648,670.00)	(405,720.78)	62.5%	(47,500.00)	(696,170.00)
Total Expenditures			803,150.00	648,670.00	(154,480.00)	648,670.00	75,304.65	11.6%	47,500.00	696,170.00

FUND	ACCOUNT	DESCRIPTION	Prior 2020 Initial Budget	Proposed 2021 Budget	Variance	Account	Quarter 2	YTD Bal	Adj.	Revised FY21
505	3-0000-38.9050	PRIOR YEAR REVENUE	(280,350.00)	(402,000.00)	121,650.00	3-0000-38.9050	0.00	0.00%	305000	(97,000.00)
505	3-4330-34.4255	SEWER CHARGES	(1,595,000.00)	(1,850,000.00)	255,000.00	3-4330-34.4255	(776,429.62)	41.97%	-150000	(2,000,000.00)
505	3-4330-34.4256	SEWER LINE INSPECTIONS	(100.00)	(100.00)	0.00	3-4330-34.4256	0.00	0.00%		(100.00)
505	3-4330-34.4260	SLUDGE GREEN ROCK	0.00	0.00	0.00	3-4330-34.4260	(16,009.33)	0.00%	-85000	(85,000.00)
505	3-4330-34.6902	SEWER TAP FEES	(45,000.00)	(45,000.00)	0.00	3-4330-34.6902	(45,000.00)	100.00%	-30000	(75,000.00)
505	3-4330-34.6904	SEWER IMPACT FEES	0.00	0.00	0.00	3-4330-34.6904	0.00	0.00%		0.00
505	3-4330-34.6950	PENALTIES	(20,000.00)	(15,000.00)	(5,000.00)	3-4330-34.6950	(8,930.92)	59.54%		(15,000.00)
505	3-4330-34.6995	MISCELLANEOUS REV	0.00	0.00	0.00	3-4330-34.6995	0.00	0.00%		0.00
505	3-4330-36.1000	INTEREST REVENUE	(1,000.00)	(1,000.00)	0.00	3-4330-36.1000	(75.99)	7.60%		(1,000.00)
505	3-4420-34.4210	WATER CHARGES	(1,645,000.00)	(2,000,000.00)	355,000.00	3-4420-34.4210	(855,394.79)	42.77%		(2,000,000.00)
505	3-4420-34.4215	WATER LINE INSP	(100.00)	(100.00)	0.00	3-4420-34.4215	0.00	0.00%		(100.00)
505	3-4420-34.4220	WATER METER REINSPCTIONS	(250.00)	(100.00)	(150.00)	3-4420-34.4220	0.00	0.00%		(100.00)
505	3-4420-34.4425	METER MAINTENANCE FEE	(80,000.00)	(90,000.00)	10,000.00	3-4420-34.4425	(59,470.81)	66.08%		(90,000.00)
505	3-4420-34.6901	TAP FEES	(97,500.00)	(90,000.00)	(7,500.00)	3-4420-34.6901	(90,625.00)	100.69%	-75000	(165,000.00)
505	3-4420-34.6903	WATER IMPACT FEES	0.00	0.00	0.00	3-4420-34.6903	0.00	0.00%		0.00
505	3-4420-34.6950	PENALTIES	(23,000.00)	(20,000.00)	(3,000.00)	3-4420-34.6950	(11,330.66)	56.65%		(20,000.00)
505	3-4420-34.6963	RECONNECT FEES	(32,500.00)	(25,000.00)	(7,500.00)	3-4420-34.6963	(14,500.00)	58.00%		(25,000.00)
505	3-4420-34.6964	PHONE CC FEE	(5,500.00)	(5,000.00)	(500.00)	3-4420-34.6964	0.00	0.00%		(5,000.00)
505	3-4420-34.6995	MISCELLANEOUS	0.00	0.00	0.00	3-4420-34.6995	(1,920.00)	0.00%		0.00
505	3-4420-34.9300	BAD CHECK FEES	(2,190.00)	(2,000.00)	(190.00)	3-4420-34.9300	(210.00)	10.50%		(2,000.00)
505	3-4420-36.1000	INTEREST REVENUES	(500.00)	(500.00)	0.00	3-4420-36.1000	(77.83)	15.57%		(500.00)
505	3-4420-38.1000	RENTS & ROYALTIES	0.00	(18,000.00)	18,000.00	3-4420-38.1000	0.00	0.00%		(18,000.00)
505	5-4330-51.1100	REGULAR EMPLOYEES	165,000.00	243,800.00	78,800.00	5-4330-51.1100	67,215.14	27.57%		243,800.00
505	5-4330-51.1300	OVERTIME	5,500.00	5,500.00	0.00	5-4330-51.1300	3,625.32	65.91%		5,500.00
505	5-4330-51.2100	GROUP INSURANCE	26,000.00	30,000.00	4,000.00	5-4330-51.2100	11,123.80	37.08%		30,000.00
505	5-4330-51.2200	FICA	3,000.00	3,000.00	0.00	5-4330-51.2200	962.35	32.08%		3,000.00
505	5-4330-51.2400	RETIREMENT	8,500.00	15,500.00	7,000.00	5-4330-51.2400	7,285.05	47.00%		15,500.00
505	5-4330-51.2700	WORKER'S COMPENSATION	3,500.00	6,500.00	3,000.00	5-4330-51.2700	5,679.64	87.38%		6,500.00
505	5-4330-51.2750	UNEMPLOYMENT TAX - GEORGIA	800.00	1,000.00	200.00	5-4330-51.2750	147.48	14.75%		1,000.00
505	5-4330-52.1205	PROFESSIONAL SERVICES	30,000.00	35,000.00	5,000.00	5-4330-52.1205	9,250.00	26.43%		35,000.00
505	5-4330-52.1210	ADMIN FEE - SEWER TRANSFER OUT	255,000.00	300,000.00	45,000.00	5-4330-52.1210	0.00	0.00%		300,000.00
505	5-4330-52.1230	LEGAL	500.00	500.00	0.00	5-4330-52.1230	0.00	0.00%		500.00
505	5-4330-52.1250	ENGINEERING	50,000.00	75,000.00	25,000.00	5-4330-52.1250	8,798.97	11.73%		75,000.00
505	5-4330-52.1400	DRUG & MEDICAL	1,200.00	1,000.00	(200.00)	5-4330-52.1400	315.00	31.50%		1,000.00
505	5-4330-52.2210	AUTO / TRUCK EXPENSES	6,000.00	6,000.00	0.00	5-4330-52.2210	4,038.53	67.31%	5000	11,000.00
505	5-4330-52.2211	AUTO GAS & FUEL	5,000.00	5,500.00	500.00	5-4330-52.2211	2,331.65	47.39%		5,500.00
505	5-4330-52.2212	CAR ALLOWANCE	0.00	0.00	0.00	5-4330-52.2212	0.00	0.00%		0.00
505	5-4330-52.2240	BUILDING & GROUNDS	7,200.00	5,000.00	(2,200.00)	5-4330-52.2240	885.33	17.71%		5,000.00
505	5-4330-52.2250	PLANT EQUIP REPAIRS/MAINT	80,000.00	225,000.00	145,000.00	5-4330-52.2250	67,062.40	29.81%		225,000.00
505	5-4330-52.2255	SEW COLLECTION EQUIP REPAIRS/M	100,000.00	225,000.00	125,000.00	5-4330-52.2255	134,289.37	59.68%	75000	300,000.00
505	5-4330-52.2256	REPAIRS TO SEWER LINES	45,000.00	175,000.00	130,000.00	5-4330-52.2256	17,933.74	10.25%		175,000.00
505	5-4330-52.2330	EQUIPMENT LEASING	7,000.00	7,000.00	0.00	5-4330-52.2330	865.68	12.37%		7,000.00
505	5-4330-52.3100	RISK MANAGEMENT INSURANCE	7,500.00	10,000.00	2,500.00	5-4330-52.3100	6,870.95	68.71%	-2500	7,500.00
505	5-4330-52.3200	COMMUNICATION CELL PHONES	2,000.00	2,500.00	500.00	5-4330-52.3200	901.79	36.07%		2,500.00
505	5-4330-52.3201	TELEPHONE	0.00	0.00	0.00	5-4330-52.3201	0.00	0.00%		0.00
505	5-4330-52.3205	INTERNET	0.00	0.00	0.00	5-4330-52.3205	0.00	0.00%		0.00
505	5-4330-52.3310	PUBLIC NOTICES	500.00	500.00	0.00	5-4330-52.3310	0.00	0.00%		500.00
505	5-4330-52.3600	DUES & FEES	2,500.00	3,000.00	500.00	5-4330-52.3600	1,961.30	65.38%		3,000.00
505	5-4330-52.3601	FINES AND PENALTIES	500.00	500.00	0.00	5-4330-52.3601	0.00	0.00%		500.00
505	5-4330-52.3700	EDUCATION & TRAINING	7,500.00	6,000.00	(1,500.00)	5-4330-52.3700	2,165.09	36.08%		6,000.00
505	5-4330-52.3857	WASTE WATER TESTS	15,000.00	17,500.00	2,500.00	5-4330-52.3857	3,190.89	18.23%		17,500.00

FUND	ACCOUNT	DESCRIPTION	Prior 2020 Initial Budget	Proposed 2021 Budget	Variance	Account	Quarter 2	YTD Bal	Adj.	Revised FY21
505	5-4330-52.3858	CHEMICALS WASTEWATER	90,000.00	95,000.00	5,000.00	5-4330-52.3858	31,463.05	33.12%		95,000.00
505	5-4330-52.3862	SLUDGE REMOVAL	33,000.00	56,000.00	23,000.00	5-4330-52.3862	66,249.89	118.30%	25000	81,000.00
505	5-4330-52.3970	POSTAGE	6,500.00	7,000.00	500.00	5-4330-52.3970	0.00	0.00%		7,000.00
505	5-4330-53.1105	OFFICE SUPPLIES	1,250.00	1,000.00	(250.00)	5-4330-53.1105	661.39	66.14%		1,000.00
505	5-4330-53.1107	BANK & CREDIT CARD CHARGES	1,000.00	500.00	(500.00)	5-4330-53.1107	0.00	0.00%		500.00
505	5-4330-53.1150	OPERATING SUPPLIES	30,000.00	30,000.00	0.00	5-4330-53.1150	7,686.67	25.62%		30,000.00
505	5-4330-53.1161	LAB SUPPLIES	20,500.00	20,000.00	(500.00)	5-4330-53.1161	4,735.13	23.68%		20,000.00
505	5-4330-53.1205	UTILITIES	130,000.00	100,000.00	(30,000.00)	5-4330-53.1205	62,693.08	62.69%	30000	130,000.00
505	5-4330-53.1210	STORMWATER FEES	2,000.00	2,000.00	0.00	5-4330-53.1210	0.00	0.00%		2,000.00
505	5-4330-53.1700	OTHER SUPPLIES	6,000.00	500.00	(5,500.00)	5-4330-53.1700	275.53	55.11%	500	1,000.00
505	5-4330-53.1775	REPAIR DAMAGE PROPERTY	0.00	0.00	0.00	5-4330-53.1775	0.00	0.00%		0.00
505	5-4330-53.1785	UNIFORMS	2,500.00	4,500.00	2,000.00	5-4330-53.1785	1,467.43	32.61%		4,500.00
505	5-4330-53.1786	BOOT ALLOWANCE	480.00	600.00	120.00	5-4330-53.1786	0.00	0.00%		600.00
505	5-4330-53.1795	MISCELLANEOUS	0.00	0.00	0.00	5-4330-53.1795	0.00	0.00%		0.00
505	5-4330-54.1202	ABANDON SKYLAND WPCP	0.00	0.00	0.00	5-4330-54.1202	0.00	0.00%		0.00
505	5-4330-54.1203	ABANDON WEST POND	0.00	0.00	0.00	5-4330-54.1203	0.00	0.00%		0.00
505	5-4330-54.1420	INDIAN CREEK WPCP	225,000.00	225,000.00	0.00	5-4330-54.1420	2,050.00	0.91%		225,000.00
505	5-4330-54.1421	CLUB DR LIFT STATION	0.00	0.00	0.00	5-4330-54.1421	0.00	0.00%		0.00
505	5-4330-54.1422	MARKET PLACE SEWER EXTENSION	257,600.00	0.00	(257,600.00)	5-4330-54.1422	0.00	0.00%		0.00
505	5-4330-54.1423	DAVIS LAKE LINE EXT - NEW	250,000.00	250,000.00	0.00	5-4330-54.1423	109,040.18	43.62%		250,000.00
505	5-4330-54.2130	SCADA SYSTEM	25,000.00	25,000.00	0.00	5-4330-54.2130	0.00	0.00%		25,000.00
505	5-4330-54.2200	VEHICLES	16,250.00	20,000.00	3,750.00	5-4330-54.2200	0.00	0.00%		20,000.00
505	5-4330-54.2400	COMPUTERS	1,500.00	1,500.00	0.00	5-4330-54.2400	0.00	0.00%		1,500.00
505	5-4330-54.2450	COMPUTER MAINTENANCE	0.00	0.00	0.00	5-4330-54.2450	136.34	0.00%		0.00
505	5-4330-54.2500	EQUIPMENT	20,000.00	60,000.00	40,000.00	5-4330-54.2500	15,737.28	26.23%		60,000.00
505	5-4330-56.1000	DEPRECIATION	0.00	0.00	0.00	5-4330-56.1000	0.00	0.00%		0.00
505	5-4330-57.4000	BAD DEBT	0.00	0.00	0.00	5-4330-57.4000	0.00	0.00%		0.00
505	5-4330-57.9000	CONTINGENCIES	20,000.00	20,000.00	0.00	5-4330-57.9000	0.00	0.00%		20,000.00
505	5-4330-58.1207	W&S BOND PRINCIPAL	351,000.00	351,000.00	0.00	5-4330-58.1207	195,812.52	55.79%		351,000.00
505	5-4330-58.2207	W/S BOND INTEREST	140,000.00	100,000.00	(40,000.00)	5-4330-58.2207	27,039.99	27.04%		100,000.00
505	5-4420-51.1100	REGULAR EMPLOYEES	160,000.00	289,900.00	129,900.00	5-4420-51.1100	85,013.67	29.33%		289,900.00
505	5-4420-51.1300	OVERTIME	4,000.00	4,500.00	500.00	5-4420-51.1300	3,308.08	73.51%	1500	6,000.00
505	5-4420-51.2100	GROUP INSURANCE	33,000.00	30,000.00	(3,000.00)	5-4420-51.2100	14,796.78	49.32%		30,000.00
505	5-4420-51.2200	FICA (SOCIAL SECURITY)	2,000.00	3,000.00	1,000.00	5-4420-51.2200	1,217.26	40.58%		3,000.00
505	5-4420-51.2400	RETIREMENT	13,500.00	13,500.00	0.00	5-4420-51.2400	6,298.92	46.66%		13,500.00
505	5-4420-51.2700	WORKER'S COMPENSATION	6,500.00	5,000.00	(1,500.00)	5-4420-51.2700	4,259.73	85.19%		5,000.00
505	5-4420-51.2750	UNEMPLOYMENT TAX - GEORGIA	1,000.00	1,000.00	0.00	5-4420-51.2750	109.19	10.92%		1,000.00
505	5-4420-52.1200	PROFESSIONAL	7,500.00	5,000.00	(2,500.00)	5-4420-52.1200	0.00	0.00%		5,000.00
505	5-4420-52.1210	ADMIN FEE - WATER TRANSFER OUT	295,000.00	400,000.00	105,000.00	5-4420-52.1210	0.00	0.00%		400,000.00
505	5-4420-52.1230	LEGAL	1,200.00	1,000.00	(200.00)	5-4420-52.1230	0.00	0.00%		1,000.00
505	5-4420-52.1250	ENGINEERING	20,000.00	75,000.00	55,000.00	5-4420-52.1250	5,695.51	7.59%		75,000.00
505	5-4420-52.1400	DRUG & MEDICAL	500.00	500.00	0.00	5-4420-52.1400	0.00	0.00%		500.00
505	5-4420-52.2210	AUTO / TRUCK EXPENSE	10,000.00	20,000.00	10,000.00	5-4420-52.2210	6,869.38	34.35%		20,000.00
505	5-4420-52.2211	AUTO GAS & FUEL	5,500.00	6,000.00	500.00	5-4420-52.2211	6,825.68	113.76%	5000	11,000.00
505	5-4420-52.2240	BUILDING & GROUNDS	5,000.00	3,000.00	(2,000.00)	5-4420-52.2240	0.00	0.00%		3,000.00
505	5-4420-52.2250	TREATMENT - REPAIRS & MAINT.	27,500.00	30,000.00	2,500.00	5-4420-52.2250	383.12	1.28%		30,000.00
505	5-4420-52.2256	DISTRIBUTION REPAIR WATER LIN	56,750.00	110,000.00	53,250.00	5-4420-52.2256	14,729.77	13.39%		110,000.00
505	5-4420-52.2257	REPAIR / MAINTENANCE TANKS	56,500.00	65,000.00	8,500.00	5-4420-52.2257	13,596.04	20.92%		65,000.00
505	5-4420-52.2258	WELL REPAIRS	25,000.00	25,000.00	0.00	5-4420-52.2258	2,774.01	11.10%		25,000.00
505	5-4420-52.2320	RENTAL EQUIP / VEHICLE	1,500.00	1,000.00	(500.00)	5-4420-52.2320	0.00	0.00%		1,000.00
505	5-4420-52.3100	RISK MANAGEMENT INSURANCE	7,000.00	7,000.00	0.00	5-4420-52.3100	5,236.78	74.81%		7,000.00

FUND	ACCOUNT	DESCRIPTION	Prior 2020 Initial Budget	Proposed 2021 Budget	Variance	Account	Quarter 2	YTD Bal	Adj.	Revised FY21
505	5-4420-52.3200	COMMUNICATION CELL PHONES	800.00	1,500.00	700.00	5-4420-52.3200	730.65	48.71%		1,500.00
505	5-4420-52.3201	TELEPHONE	0.00	0.00	0.00	5-4420-52.3201	0.00	0.00%		0.00
505	5-4420-52.3205	INTERNET	0.00	0.00	0.00	5-4420-52.3205	0.00	0.00%		0.00
505	5-4420-52.3310	PUBLIC NOTICES	0.00	0.00	0.00	5-4420-52.3310	0.00	0.00%		0.00
505	5-4420-52.3600	DUES & FEES	2,000.00	5,000.00	3,000.00	5-4420-52.3600	2,321.29	46.43%		5,000.00
505	5-4420-52.3700	EDUCATION & TRAINING	4,000.00	5,000.00	1,000.00	5-4420-52.3700	0.00	0.00%		5,000.00
505	5-4420-52.3750	MEETINGS & CONFERENCES	1,500.00	1,000.00	(500.00)	5-4420-52.3750	0.00	0.00%		1,000.00
505	5-4420-52.3855	DRINKING WATER FEES CONTRACT	25,000.00	25,000.00	0.00	5-4420-52.3855	0.00	0.00%		25,000.00
505	5-4420-52.3856	WATER TESTING	5,000.00	10,000.00	5,000.00	5-4420-52.3856	1,130.62	11.31%		10,000.00
505	5-4420-52.3859	CHEMICALS FOR WATER	50,000.00	50,000.00	0.00	5-4420-52.3859	0.00	0.00%		50,000.00
505	5-4420-52.3970	POSTAGE	3,500.00	2,500.00	(1,000.00)	5-4420-52.3970	0.00	0.00%		2,500.00
505	5-4420-53.1105	OFFICE SUPPLIES	1,000.00	500.00	(500.00)	5-4420-53.1105	929.43	185.89%	1000	1,500.00
505	5-4420-53.1107	BANK & CREDIT CARD CHARGES	7,500.00	5,000.00	(2,500.00)	5-4420-53.1107	0.00	0.00%		5,000.00
505	5-4420-53.1150	OPERATING SUPPLIES	28,500.00	25,000.00	(3,500.00)	5-4420-53.1150	10,115.44	40.46%		25,000.00
505	5-4420-53.1205	UTILITIES	62,500.00	50,000.00	(12,500.00)	5-4420-53.1205	12,236.87	24.47%		50,000.00
505	5-4420-53.1210	STORM WATER FEES	1,200.00	1,200.00	0.00	5-4420-53.1210	0.00	0.00%		1,200.00
505	5-4420-53.1510	INV PCH WATER FOR RESALE	150,000.00	225,000.00	75,000.00	5-4420-53.1510	88,015.63	39.12%		225,000.00
505	5-4420-53.1775	REPAIR DAMAGE PROPERTY	0.00	0.00	0.00	5-4420-53.1775	0.00	0.00%		0.00
505	5-4420-53.1785	UNIFORMS	3,000.00	4,000.00	1,000.00	5-4420-53.1785	1,473.07	36.83%		4,000.00
505	5-4420-53.1786	BOOT ALLOWANCE	360.00	600.00	240.00	5-4420-53.1786	0.00	0.00%		600.00
505	5-4420-53.1795	MISCELLANEOUS	0.00	0.00	0.00	5-4420-53.1795	0.00	0.00%		0.00
505	5-4420-54.1430	TEST WELLS	0.00	0.00	0.00	5-4420-54.1430	0.00	0.00%		0.00
505	5-4420-54.1440	WATER TANK DEVELOPMENT	0.00	0.00	0.00	5-4420-54.1440	0.00	0.00%		0.00
505	5-4420-54.1442	WELL DEVELOPMENT	0.00	0.00	0.00	5-4420-54.1442	0.00	0.00%		0.00
505	5-4420-54.1445	WATER SYSTEM IMPROVEMENTS	22,950.00	25,000.00	2,050.00	5-4420-54.1445	0.00	0.00%		25,000.00
505	5-4420-54.2110	NEW METER INSTALLATIONS	350,000.00	275,000.00	(75,000.00)	5-4420-54.2110	65,035.20	23.65%		275,000.00
505	5-4420-54.2120	RADIO READ SYSTEM	100,000.00	150,000.00	50,000.00	5-4420-54.2120	0.00	0.00%		150,000.00
505	5-4420-54.2130	SCADA SYSTEM	27,500.00	25,000.00	(2,500.00)	5-4420-54.2130	0.00	0.00%		25,000.00
505	5-4420-54.2200	VEHICLES	16,250.00	20,000.00	3,750.00	5-4420-54.2200	0.00	0.00%		20,000.00
505	5-4420-54.2400	COMPUTERS	1,200.00	1,200.00	0.00	5-4420-54.2400	0.00	0.00%		1,200.00
505	5-4420-54.2450	COMPUTER MAINTENANCE	0.00	0.00	0.00	5-4420-54.2450	204.51	0.00%		0.00
505	5-4420-54.2500	EQUIPMENT	35,000.00	35,000.00	0.00	5-4420-54.2500	0.00	0.00%		35,000.00
505	5-4420-56.1000	DEPRECIATION	0.00	0.00	0.00	5-4420-56.1000	0.00	0.00%		0.00
505	5-4420-56.1100	AMORTIZATION EXPENSE	0.00	0.00	0.00	5-4420-56.1100	0.00	0.00%		0.00
505	5-4420-57.1000	SDS HCWA IF	0.00	90,000.00	90,000.00	5-4420-57.1000	95,550.00	106.17%	4500	94,500.00
505	5-4420-57.4000	BAD DEBTS	0.00	0.00	0.00	5-4420-57.4000	0.00	0.00%		0.00
505	5-4420-57.9000	CONTINGENCIES	20,000.00	20,000.00	0.00	5-4420-57.9000	0.00	0.00%		20,000.00
505	5-4420-58.1208	W/S BOND PRINCIPAL	220,000.00	225,000.00	5,000.00	5-4420-58.1208	105,437.52	46.86%		225,000.00
505	5-4420-58.2208	W&S BOND INTEREST	66,000.00	66,000.00	0.00	5-4420-58.2208	14,559.96	22.06%		66,000.00
506	3-4330-34.6904	SEWER IMPACT FEES	(235,000.00)	(375,000.00)	(140,000.00)	3-4330-34.6904	(292,266.09)	77.94%	-35000	(410,000.00)
506	3-4420-34.6903	WATER IMPACT FEES	(345,000.00)	(275,000.00)	(70,000.00)	3-4420-34.6903	(327,494.24)	119.09%	-75000	(350,000.00)
Total Revenues			(4,407,990.00)	(5,213,800.00)	(805,810.00)	Total Revenues	(2,499,735.28)	47.94%	-145000	(5,358,800.00)
Total Expenditures			4,407,990.00	5,213,800.00	805,810.00	TOTAL QUARTER	1,450,802.06	27.83%	145000	5,358,800.00

Employee-Related Expense
Contracted Expenses
Supplies and Related Expense
Capital Items

FUND	ACCOUNT	DESCRIPTION	Prior 2020 Initial Budget	Proposed 2021 Budget	Variance	Account	Quarter 2	YTD Bal	Adj.	Revised FY21
540	3-0000-34.4101	RESIDENTIAL SANITATION	(497,500.00)	(550,000.00)	52,500.00	3-0000-34.4101	(226,310.00)	41.15%	-10000	(560,000.00)
540	3-0000-34.4102	COMMERCIAL SANITATION	(25,000.00)	(25,000.00)	0.00	3-0000-34.4102	(4,283.00)	17.13%		(25,000.00)
540	3-0000-34.4103	CHIPPING FEES	(4,650.00)	(1,000.00)	(3,650.00)	3-0000-34.4103	0.00	0.00%		(1,000.00)
540	3-0000-34.4150	COLLECTION SITE FEES	(18,500.00)	(20,000.00)	1,500.00	3-0000-34.4150	(8,300.00)	41.50%		(20,000.00)
540	3-0000-34.4160	RECYCLE PROCEEDS	(3,000.00)	(5,000.00)	2,000.00	3-0000-34.4160	(919.80)	18.40%		(5,000.00)
540	3-0000-34.4190	SANITATION OTHER CHARGES	0.00	0.00	0.00	3-0000-34.4190	0.00	0.00%		0.00
540	3-0000-38.9050	PRIOR YEAR REVENUE	0.00	0.00	0.00	3-0000-38.9050	0.00	0.00%		0.00
540	3-0000-39.1100	OPERATING TRANSFER	0.00	0.00	0.00	3-0000-39.1100	0.00	0.00%		0.00
540	3-0000-64.6950	SANITATION PENALTIES	(5,500.00)	(5,000.00)	(500.00)	3-0000-64.6950	(1,953.90)	39.08%		(5,000.00)
540	5-0000-51.1100	REGULAR EMPLOYEES	38,950.00	125,000.00	86,050.00	5-0000-51.1100	10,916.62	8.73%		125,000.00
540	5-0000-51.1300	OVERTIME	500.00	2,000.00	1,500.00	5-0000-51.1300	374.59	18.73%		2,000.00
540	5-0000-51.2100	GROUP INSURANCE	3,400.00	5,000.00	1,600.00	5-0000-51.2100	1,533.35	30.67%		5,000.00
540	5-0000-51.2200	FICA (SOCIAL SECURITY)	700.00	1,000.00	300.00	5-0000-51.2200	160.89	16.09%		1,000.00
540	5-0000-51.2400	RETIREMENT	1,000.00	3,500.00	2,500.00	5-0000-51.2400	1,841.95	52.63%		3,500.00
540	5-0000-51.2700	WORKER'S COMPENSATION	700.00	2,000.00	1,300.00	5-0000-51.2700	1,419.91	71.00%		2,000.00
540	5-0000-51.2750	UNEMPLOYMENT TAX - GEORGIA	400.00	500.00	100.00	5-0000-51.2750	28.91	5.78%		500.00
540	5-0000-52.1210	ADMIN FEE - SANIT TRANSFER OUT	50,000.00	19,750.00	(30,250.00)	5-0000-52.1210	0.00	0.00%		19,750.00
540	5-0000-52.1400	DRUG & MEDICAL	200.00	500.00	300.00	5-0000-52.1400	0.00	0.00%		500.00
540	5-0000-52.2210	AUTO/TRUCK EXPENSES	5,000.00	5,000.00	0.00	5-0000-52.2210	1,782.74	35.65%		5,000.00
540	5-0000-52.2211	AUTO GAS & FUEL	3,500.00	5,000.00	1,500.00	5-0000-52.2211	0.00	0.00%		5,000.00
540	5-0000-52.2240	BUILDING & GROUNDS	0.00	2,500.00	2,500.00	5-0000-52.2240	0.00	0.00%		2,500.00
540	5-0000-52.2250	OTHER EQUIP. REPAIRS/MAINT	1,000.00	2,000.00	1,000.00	5-0000-52.2250	0.00	0.00%		2,000.00
540	5-0000-52.3100	RISK MANAGEMENT INSURANCE	3,000.00	5,000.00	2,000.00	5-0000-52.3100	1,729.08	34.58%		5,000.00
540	5-0000-52.3200	COMMUNICATION CELL PHONE	500.00	1,000.00	500.00	5-0000-52.3200	116.61	11.66%		1,000.00
540	5-0000-52.3205	INTERNET	0.00	0.00	0.00	5-0000-52.3205	0.00	0.00%		0.00
540	5-0000-52.3310	PUBLIC NOTICES	0.00	0.00	0.00	5-0000-52.3310	0.00	0.00%		0.00
540	5-0000-52.3600	DUES & FEES	100.00	250.00	150.00	5-0000-52.3600	0.00	0.00%		250.00
540	5-0000-52.3700	EDUCATION & TRAINING	100.00	500.00	400.00	5-0000-52.3700	0.00	0.00%		500.00
540	5-0000-52.3860	SANITATION CONTRACT	350,700.00	315,000.00	(35,700.00)	5-0000-52.3860	162,241.97	51.51%		315,000.00
540	5-0000-52.3861	TIPPING FEE FOR LANDFILL	500.00	15,000.00	14,500.00	5-0000-52.3861	175.00	1.17%		15,000.00
540	5-0000-52.3862	ROLLOFF COLLECTIONS	36,000.00	15,000.00	(21,000.00)	5-0000-52.3862	13,142.29	87.62%	10000	25,000.00
540	5-0000-52.3863	TIRE DISPOSAL FEE	750.00	1,000.00	250.00	5-0000-52.3863	407.50	40.75%		1,000.00
540	5-0000-52.3970	POSTAGE	0.00	0.00	0.00	5-0000-52.3970	0.00	0.00%		0.00
540	5-0000-53.1160	OPERATING EQUIPMENT	5,500.00	7,500.00	2,000.00	5-0000-53.1160	0.00	0.00%		7,500.00
540	5-0000-53.1205	UTILITIES	1,200.00	1,500.00	300.00	5-0000-53.1205	551.99	36.80%		1,500.00
540	5-0000-53.1700	OTHER SUPPLIES	500.00	2,500.00	2,000.00	5-0000-53.1700	0.00	0.00%		2,500.00
540	5-0000-53.1785	UNIFORMS	1,250.00	2,500.00	1,250.00	5-0000-53.1785	895.04	35.80%		2,500.00
540	5-0000-53.1786	BOOT ALLOWANCE	200.00	500.00	300.00	5-0000-53.1786	0.00	0.00%		500.00
540	5-0000-53.1795	MISCELLANEOUS	0.00	0.00	0.00	5-0000-53.1795	0.00	0.00%		0.00
540	5-0000-54.2200	VEHICLES	46,000.00	50,000.00	4,000.00	5-0000-54.2200	0.00	0.00%		50,000.00
540	5-0000-54.2450	COMPUTER MAINTENANCE	0.00	0.00	0.00	5-0000-54.2450	68.08	0.00%		0.00
540	5-0000-54.2500	EQUIPMENT	2,500.00	15,000.00	12,500.00	5-0000-54.2500	0.00	0.00%		15,000.00
540	5-0000-56.1000	DEPRECIATION EXPENSE	0.00	0.00	0.00	5-0000-56.1000	0.00	0.00%		0.00

Total Revenues	(554,150.00)	(606,000.00)	(51,850.00)	Total Revenues	(241,766.70)	39.90%	(616,000.00)
Total Expenditures	554,150.00	606,000.00	51,850.00	TOTAL QUARTER	197,386.52	32.57%	616,000.00
					0		

FUND	ACCOUNT	DESCRIPTION	Prior 2020 Initial Budget	Proposed 2021 Budget	Variance	Account	Quarter 2	YTD Bal	Adj.	Revised FY21
570	3-0000-34.4261	STORM UTILITY FEE	(275,000.00)	(325,000.00)	50,000.00	3-0000-34.4261	(35,695.92)	10.98%	-1500	(326,500.00)
570	3-0000-38.9050	PRIOR YEAR REVENUE	(74,550.00)	(119,850.00)	45,300.00	3-0000-38.9050	0.00	0.00%		(119,850.00)
570	3-0000-39.1100	OPERATING TRANSFER	0.00	0.00	0.00	3-0000-39.1100	0.00	0.00%		0.00
570	5-0000-51.1100	REGULAR EMPLOYEES	76,000.00	135,000.00	59,000.00	5-0000-51.1100	51,390.98	38.07%		135,000.00
570	5-0000-51.1300	OVERTIME	600.00	1,500.00	900.00	5-0000-51.1300	0.00	0.00%		1,500.00
570	5-0000-51.2100	GROUP INSURANCE	26,000.00	35,000.00	9,000.00	5-0000-51.2100	9,316.68	26.62%		35,000.00
570	5-0000-51.2200	FICA (SOCIAL SECURITY)	800.00	1,000.00	200.00	5-0000-51.2200	691.32	69.13%		1,000.00
570	5-0000-51.2400	RETIREMENT	12,500.00	15,000.00	2,500.00	5-0000-51.2400	4,114.32	27.43%		15,000.00
570	5-0000-51.2500	TUITION REIMBURSEMENTS	0.00	0.00	0.00	5-0000-51.2500	0.00	0.00%		0.00
570	5-0000-51.2700	WORKER'S COMPENSATION	5,000.00	5,000.00	0.00	5-0000-51.2700	2,839.82	56.80%		5,000.00
570	5-0000-51.2750	UNEMPLOYMENT TAX - GEORGIA	500.00	500.00	0.00	5-0000-51.2750	76.00	15.20%		500.00
570	5-0000-52.1200	PROFESSIONAL	29,000.00	30,000.00	1,000.00	5-0000-52.1200	1,290.00	4.30%		30,000.00
570	5-0000-52.1210	ADMIN FEE - STORM TRANSFER OUT	44,500.00	70,000.00	25,500.00	5-0000-52.1210	0.00	0.00%		70,000.00
570	5-0000-52.1230	LEGAL	250.00	250.00	0.00	5-0000-52.1230	0.00	0.00%		250.00
570	5-0000-52.1280	FLOODPLAIN MAPPING	500.00	500.00	0.00	5-0000-52.1280	0.00	0.00%		500.00
570	5-0000-52.1400	DRUG & MEDICAL	250.00	250.00	0.00	5-0000-52.1400	0.00	0.00%		250.00
570	5-0000-52.2210	AUTO/TRUCK EXPENSES	3,500.00	10,000.00	6,500.00	5-0000-52.2210	7.81	0.08%		10,000.00
570	5-0000-52.2211	AUTO GAS & FUEL	2,000.00	2,500.00	500.00	5-0000-52.2211	2,308.32	92.33%	1500	4,000.00
570	5-0000-52.2250	OTHER EQUIP. REPAIRS/MAINT	3,950.00	5,000.00	1,050.00	5-0000-52.2250	0.00	0.00%		5,000.00
570	5-0000-52.3100	RISK MANAGEMENT INSURANCE	5,100.00	5,000.00	(100.00)	5-0000-52.3100	3,482.39	69.65%		5,000.00
570	5-0000-52.3200	COMMUNICATION CELL PHONES	100.00	1,500.00	1,400.00	5-0000-52.3200	594.89	39.66%		1,500.00
570	5-0000-52.3205	INTERNET	0.00	0.00	0.00	5-0000-52.3205	0.00	0.00%		0.00
570	5-0000-52.3310	PUBLIC NOTICES	0.00	0.00	0.00	5-0000-52.3310	0.00	0.00%		0.00
570	5-0000-52.3600	DUES & FEES	400.00	500.00	100.00	5-0000-52.3600	165.00	33.00%		500.00
570	5-0000-52.3700	EDUCATION & TRAINING	2,000.00	3,500.00	1,500.00	5-0000-52.3700	1,443.67	41.25%		3,500.00
570	5-0000-52.3751	PUBLIC OUTREACH	5,000.00	5,000.00	0.00	5-0000-52.3751	0.00	0.00%		5,000.00
570	5-0000-52.3800	POND MAINTENANCE	25,000.00	25,000.00	0.00	5-0000-52.3800	703.13	2.81%		25,000.00
570	5-0000-52.3855	CONTRACTS	35,000.00	10,000.00	(25,000.00)	5-0000-52.3855	2,418.03	24.18%		10,000.00
570	5-0000-52.3970	POSTAGE	0.00	0.00	0.00	5-0000-52.3970	0.00	0.00%		0.00
570	5-0000-53.1105	OFFICE SUPPLIES	200.00	200.00	0.00	5-0000-53.1105	0.00	0.00%		200.00
570	5-0000-53.1150	OPERATING SUPPLIES	6,200.00	5,000.00	(1,200.00)	5-0000-53.1150	361.89	7.24%		5,000.00
570	5-0000-53.1160	OPERATING EQUIPMENT	600.00	2,000.00	1,400.00	5-0000-53.1160	1,175.00	58.75%		2,000.00
570	5-0000-53.1200	FEE FOR COLLECTING TAX	2,750.00	2,500.00	(250.00)	5-0000-53.1200	0.00	0.00%		2,500.00
570	5-0000-53.1700	OTHER SUPPLIES	2,250.00	2,000.00	(250.00)	5-0000-53.1700	0.00	0.00%		2,000.00
570	5-0000-53.1785	UNIFORMS	3,600.00	3,750.00	150.00	5-0000-53.1785	940.61	25.08%		3,750.00
570	5-0000-53.1786	BOOT ALLOWANCE	0.00	400.00	400.00	5-0000-53.1786	0.00	0.00%		400.00
570	5-0000-53.1795	MISCELLANEOUS	0.00	0.00	0.00	5-0000-53.1795	0.00	0.00%		0.00
570	5-0000-54.2200	VEHICLES	0.00	0.00	0.00	5-0000-54.2200	0.00	0.00%		0.00
570	5-0000-54.2250	CAPITAL LEASE/BOBCAT W/DH80	51,000.00	55,000.00	4,000.00	5-0000-54.2250	0.00	0.00%		55,000.00
570	5-0000-54.2300	FURNITURE / FIXTURES	0.00	0.00	0.00	5-0000-54.2300	0.00	0.00%		0.00
570	5-0000-54.2400	COMPUTERS	0.00	1,500.00	1,500.00	5-0000-54.2400	0.00	0.00%		1,500.00
570	5-0000-54.2450	COMPUTER MAINTENANCE	5,000.00	0.00	(5,000.00)	5-0000-54.2450	136.34	0.00%		0.00
570	5-0000-54.2500	EQUIPMENT	0.00	10,000.00	10,000.00	5-0000-54.2500	5,620.13	56.20%		10,000.00
570	5-0000-56.1000	DEPRECIATION EXPENSE	0.00	0.00	0.00	5-0000-56.1000	0.00	0.00%		0.00
570	5-0000-57.1000	INTEREST EXPENSE	0.00	0.00	0.00	5-0000-57.1000	0.00	0.00%		0.00

Revenue Totals	(349,550.00)	(444,850.00)	(95,300.00)	Total Revenues	(35,695.92)	8.02%
Expense Totals	349,550.00	444,850.00	95,300.00	TOTAL QUARTER	89,076.33	20.02%
					0	(446,350.00)
						446,350.00

Designated Funds	153,050.00
Economic Development	1,046,800.00
Capital Funds	2,196,270.00
Enterprise	6,421,150.00
Total Other Funds	9,817,270.00
Total FY21	19,004,460.00

Special Funds - Detail	
Tree Replacement	20,000.00
Confiscated Assets	110,000.00
Cemetery Fund	23,050.00
Economic Development	
Hotel/Motel	1,046,800.00
Capital Funds	
SPLOST	1,500,100.00
Development Impact Fee	696,170.00
Enterprise Funds	
Utilities	5,358,800.00
Sanitation	616,000.00
Stormwater	446,350.00